



DATE: 31 October 2018

Winter Lake Estates Annual meeting, October 29, 2018, 7:05pm

Meeting notes:

attendance: 52 residents (registration rosters attached) attending; 20 residents or 38% of total attendees from Dist 2 (Retention basin area)

34 homes represented (22% of all homes)

(2017 attendance was 31 persons.)

- trustees present: R Reinhardt, S Ishmael and Dom Bausano
- Committee chairs present and presenting:
 - Cecilia Sprecher, Communications (absent)
 - Jerry Hoffman, Maintenance
 - Jeanne Fernandez, Architectural Control (ARC) and Safety
 - David Morhaus, Finance
- Homeowners not participating due to dues not paid: (5)

Meeting opened by R Reichardt, welcoming remarks.

three major projects: presented and discussed

1. Project Shangri La - redevelopment of Shangri La
2. Jefferson County street adoption program
3. Repair of Retention Basin dam and spillway structures
(cost estimate: \$57,000 to \$65,000)

Presentation of Winter Lake Estates HOA status given (see attached ppt slides)

Q&A session made up of questions submitted via email.

Dom Bausano added :

1. need for volunteers for Maintenance, Projects, Architectural Control.
2. Any issues re safety/security should be turned in to Jefferson County Sheriff's department via 911 call.

Note: significant concerns over neighbors speeding. HOA to send out emails to residents.

A handwritten signature in black ink, appearing to read "Dom".

dom bausano, Trustee, Winter Lake Estates HOA

**2018 Winter Lake Estates
Annual Meeting –
A Community Moving Forward**



AGENDA



- | | | |
|-------------|---|---------------|
| I. | Introduction – Welcome (Robin Reichardt) | P1-3 |
| II. | Achievements (Robin Reichardt) | P4-5 |
| | Project – Shangri-La | P6-11 |
| III. | Organization (Dom Bausano) | p12-16 |
| V. | Reports | |
| | A. Architectural Control/ Safety (RR) | P16-21 |
| | B. Communications (CS) | P22-25 |
| | C. Finance (DM) | P26-30 |
| | D. Maintenance (JH) | P31-33 |
| | Project – Leak (VB) | P34-43 |
| VI. | Response to homeowner questions (RR) | P45-47 |
| VII. | Close of Meeting | |



ON GOING MISSION



- Develop a friendly & helpful community
- Provide services and manage standards to maintain and/or improve property values
- Assure that we have a safe community

DRIVERS: ALL IN SUPPORT OF MISSION.

- Improved Communications (dialogue - two-way)
- Involve homeowners on grass-roots basis
 - Need Volunteers
 - ARC/Safety
 - Maintenance
- Pro-actively manage:
 - indenture defined issues
 - community support issues



Achievements 2018



- Jefferson County Street Adoption program
 - Overwhelming approval by homeowners:
 - 82% of homeowners signed petition for program; only four “no’s”; rest of homeowners could not be contacted
 - Using newly found funding, Jefferson County has re-installed its street adoption program (suspended in 1997); Pending completion of agreement and acceptance by County Council in mid-Spring, 2019
 - Jefferson County takes on resp for street maintenance viz. repair/replacement w/ like kind surface, snow/ice removal and all storm sewers/bridges under streets.
 - All street signs, rules and regulations remain in effect.
 - Vehicle regulations/enforcement remain in effect by Sheriff’s department
 - Homeowners remain responsible for landscaping and sidewalks up to the curb line.
 - Budget impact (undetermined at this time) – snow removal
- Collection of past due assessments
 - Delinquent assessment in 2014 of approx \$17,000 (this does NOT include 10% delinquent interest charges in 2018 to \$2,466 as of 10/25.)
 - Management company uses: Liens, Legal notices, Court action, Collections based on court ordered settlement including garnishment



Achievements 2018 (cont'd)



- Retention basin repair: (see later)
 - Two floods after January 1, 2016 flooding then damaged again May 1, 2017 plus homeless ground hog caused irreparable damage.
 - Various volunteers have worked for three plus years to patch dam leak (dye studies, use of bentonite clay (2 tons), etc...
 - Retention basin leaks continuously; typically 12-15 inches lower than normal
 - TO-DATE DISCUSSION IN MAINTENANCE PRESENTATION
- Project – Shangri-La (see later)
 - Looks like redevelopment of trailer area imminent
 - Benefits to Winter Lake Estates :
 - Direct: - provides safe ingress/egress for Winter Lake Estates homeowners
 - In direct: (But Very significant) improve property values; improve safety
 - Provides opportunities, should we choose to pursue them; reduced opn cost, better use of assets.
 - Safer access to Old 141. Second entrance in case of an emergency.



Shangri La Flats Redevelopment

Committee



Trudie Puccio -Chair

19 Winter Pond Dr.

Darrell Missey

4 Winter River Ct.

Jeanne Fernandez

1101 Winter Lake Dr.

Kevin Wilke

1139 Winter Lake Dr.

Lnzy Slama

15 Winter Pond Dr.

Dom Bausano, Trustee

115 Winter Lake Blvd.



Committee Objectives



Who are we:

We are Your Neighbors

Volunteers willing to share
our professional expertise

Including:

Engineering

Construction,

residential/industrial

Former law enforcement

Sales

Communications

We care about our
community and
development



Our goal is to support the potential addition to our
development in a positive manner with minimal impact to
our current way of life.

Special Project – Shangri-La



Redevelopment Overview:

Maximum of 150 Homes

Single Family Detached Homes

Ranch to one to 1-1/2 Story Models

1250-2000 sq ft

Replacement of Streets

Upgraded Water, Sewer, Lighting

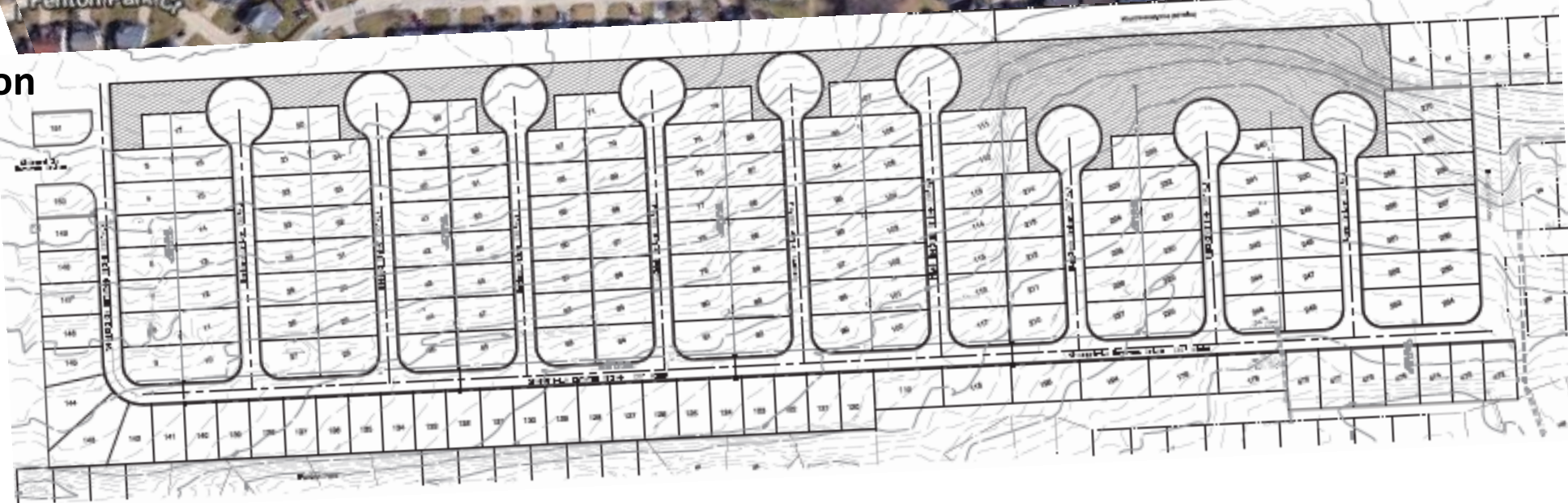


Special Project – Shangri-La

Currently approx 86 trailers on 194 lots, (google map) approx 45% capacity



Fenton Park



Effects on Winter Lake



How it Effects Winter Lake:

Connection to Winter Pond Drive

Traffic Flow

Storm Water Control

Increased Home Values

Possible Combined Home Owner Association could require same indentures



WLE Organization & Function



1. Three Trustees to serve 3 years:

- Carry out HOA mission, Follow indentures, authorized to transact for the HOA; have responsibility and authority....
- Trustees elected, at large, by members
- Appoint committee chairs to manage specific functions: Maint, ARC&Safety, Communications, Finance
- Will be reviewing need for additional Trustees

2. Committees self-governed and make recommendations to Trustees for action.

3. District Reps (2 per district) to act as Liaison and summarize needs. **(note: need district rep for District 3.)**





- Subdivided to ensure grass roots representation of neighborhoods
- Divide work-load
- Each has about 30 homes; minimum two reps

District Reps



If your address is:	You are in District:	Your Rep(s) is/are:	Your Rep's Address
Between 1093 & 1155 WLDr	1	Theresa Fiscella Jeanne Fernandez	1142 WLDr 1101 WLDr
Between 1054 & 1090 WLDr; Or Winter Pond Dr	2	Jack Schlittler Dave Morhaus	1053 WLDr 1086 WLDr
Between 954 & 1050 WLDr	3	Lynn McClenahan	954 WLDr
Between 922 & 950 WLDr Or Winter Lake CIRCLE Or Winter Brook DR Or Winter River CT	4	Niki Caito Dawn Crump	909 Winter Brook DR 946 WLDr
All of Winter Lake BLVD	5	Carolyn Halladay Susan Wall	163 WLBlvd 105 WLBlvd

Objectives:

- Communicate, support area homeowners
- As members of the Management Team, Offer input representing their district
- Volunteer on as needed basis

COMMITTEES

- Architectural Control & Safety – Jeanne Fernandez (Dist 1)
 - min budget – legal expense
 - Indenture enforcement, monitor improvements, safety issues.
- Finance - Dave Morhaus (Dist 2)
 - assess data from banks/Management company
- Communications Cecilia Sprecher (Dist 3)
 - Website
 - Social Media
- Maintenance – Jerry Hoffman (Dist 4)
 - On-going – lawn, snow removal, (45% of 2015 budget)
 - asset repair/replacement (painting benches and signposts)
- Special Projects –
 - Project – Shangri-La (Trudie Puccio, Chair; Jeanne Fernandez, Chair ARC; Kevin Wilke, Lindsey Slama, Darrell Missey)
 - Project – Leak (Volkan Becker, Engineering/Construction; Rosanna Grabow, Contract Review)

Volunteers needed:



COMMITTEE	CHAIR(S)	EMAIL ADDRESS	NEXT MEETING
Maintenance	Jerry Hoffman	jhoffman622@gmail.com	
ARC & Safety	Jeanne Fernandez	Arcandsafety@winterlake.org	
Communications	Cecilia Sprecher	ceciliansprecher@gmail.com	
Finance	Dave Morhaus	dhmorhaus@aol.com	



Architectural Control & Safety (ARC)

Architectural Control & Safety Committee (ARC)



Critical Issue by Homeowners

(10/14 Survey)

Architectural Control	
Street parking enforcement	
Traffic/speeding issues	
Homeowner upkeep enforcement (weeds, mowing, e	
Lake usage/trespassers enforcement	
Dog rules enforcement (leash law)	
Trash cans left out enforcement	
Illegal parking (on grass, RVs or boats in driveway)	
Crime/safety issues with trailer park/apartments	
Adding second entrance (at Winter Pond end)	
Approval on home/driveway additions	
Sheds/fences/pools approvals	
Liaison with Police and other JeffCo govt. agencies	

2018 ARC Guidelines and Check-List



"The purpose of this summary is to give the reader an idea of what is intended in the Winter Lake Estates HOA indentures. This document should be used for guidance only and not intended to replace or alter the WE Indentures."

1. Homeowner in Good Standing
2. Homeowner submits Plans to Architectural Committee for review and recommendation
 - Project Description
 - Drawings/Schematics
 - Material samples or images to be used
 - Full contact information of the contractor
3. Response w/in 30 days after submission of all info. Homeowner provides payment of Deposit to Trustees
4. Formal Approval Provided by Architectural Committee and Trustees
5. Review and Approval at Project Completion
6. Return of Homeowner deposit



2017 ARC Guidelines and Check-List



Winter Lake Estates Building Approval Check-List

1. Homeowner in Good Standing? Yes / No
2. Project Description - (e.g. new fence; deck replacement; new roof)
3. Drawings/Schematics – (Please attach to this form)
4. Materials to be used - (e.g. manufacturer, style, specifications, color,..)
5. Full Contact Information of Contractor – (get JeffCo permits)
Name, Address, Phone, Email
6. Deposit provided? Yes / No
7. ARC MEMBER Comments:



Architectural Control Committee (ARC)



Achievements:

- Approval for changes to exterior of homes:
 - 3 roof replacements
 - 2 decks
 - One fence and patio enlargement

2018 Winter Lake Estates ARC PROJECTS

HOMEOWNER	ADDRESS	PROJECT	STATUS
	986 Winter Lake Drive	Deck/All season Room	Approved, under construction
W	1032 Winter Lake Drive	Roof replacement	Completed March 2018
	115 Winter Lake Blvd	Roof replacement	Completed May 2018
	19 Winter Pond Drive	Fence, patio enlargement	Completed August 2018
	139 Winter Lake Blvd	Roof replacement	Completed October 2018
ON	950 Winter Lake Drive	Deck	Approved, pending receipt of deposit

Communications Committee

Cecilia Sprecher, Chair, Dist 3



Communications Committee

Critical Issue by Homeowners:

“need more communications re
Winter Lake Estates issues/ projects”
(10/14 Survey)

Communication Tools

Facebook
Website
Email Blasts
Meeting Announcements
Meeting Minutes

MEMBER	DISTRICT
Cecilia Sprecher Chair	3
Jeanne Fernandez	1
Lindsey Slama	2
Dan Bailey	5



Communications Committee



Chair: Cecilia Sprecher, WLD

- Manages communication w/in WLE via FB and email
- Projects Finalized
 - New website was released in March 2017
- Projects underway
 - No current projects
- Future:
 - Schedule next meeting



Contact Info

Website: www.winterlake.org

Facebook group:

www.facebook.com/groups/winterlakeestates

Email - HOA: trustee@winterlake.org

- ARC & Safety for project approvals

ARCSafety@WinterLake.org

Finance Committee



David Morhaus, Chairman, Dist 2

Ross Chickering, Dist 1

Jared Greene, Dist 1

**Anyone interested in joining the committee, please
contact David Morhaus**



Financial Overview 2018



➤ Goals:

- ✓ Make all fiscal matters transparent
 - ✓ An additional resource to assist trustees
 - ✓ Fund committee activities -- primarily maintenance (streets, snow removal, common ground care, etc..)
 - ✓ Review funding for repair/replacement projects
 - ✓ Build reserve fund to cover unexpected repairs
- Management company uses liens, legal notices and court actions in the collection of past due HOA assessments. Homeowners pay all expenses including attorney's fees and court costs. Delinquent HOA assessments reduced 80% since management company took over in 2015.



Financial Overview -2018



➤ Reserve Fund Growth:

Reserve fund in 2014	\$14,128
Anticipated reserve fund 2018	\$87,362

- ✓ The expense to repair the retention pond will be covered by the reserve fund
- ✓ Even with the repair to the retention pond, we should end 2018 with a positive reserve fund

2018 Budget Summary (through September 2018)



Winter Lake Estates - 2018 Budget Summary			
	2018 Budget	YTD Act	Variance
<u>Income</u>			
Annual Dues	\$68,850	\$67,323	(\$1,527)
Special Assessments	\$0	\$0	\$0
Legal & Costs Recovered	\$0	\$0	\$0
Recording & Releasing	\$0	\$55	\$0
Delinquent Dues	\$2,000	\$450	(\$1,550)
Interest	\$250	\$211	(\$39)
Total Income	\$71,100	\$68,039	(\$3,116)
<u>Expenses</u>			
Landscaping	\$12,000	\$8,085	(\$3,916)
Professional Fees	\$1,200	\$243	(\$957)
Insurance	\$1,351	\$984	(\$367)
Office Supplies	\$332	\$72	(\$260)
Postage	\$92	\$76	(\$16)
Snow Removal	\$12,500	\$2,250	(\$10,250)
Utility	\$7,624	\$5,347	(\$1,651)
Maintenance	\$49,121	\$5,605	(\$43,516)
WG Condo Streets	\$927	\$924	(\$3)
WBE Streets	\$5,786	\$5,767	(\$18)
Management Fee -City & Village	\$2,844	\$2,719	(\$125)
Contingency	\$0	\$0	\$0
Total Expense	\$93,776	\$32,073	(\$61,078)
Net Profit (+) or Loss (-)	(\$22,676)	\$35,967	\$57,962

Finance Committee 2018 Long Range Plan



Winter Lake Estates - Long Term Plan							
	Previous	2018	2019	2020	2021	2022	2023
	5 YR Average	Budget	Est	Est	Est	Est	Est
Income	(2013-2017)						
Annual Dues / Lot		\$450	\$450	\$500	\$500	\$500	\$500
Lots		156	156	156	156	156	156
Builder Lots or Non Payment		-3	-3	-3	-3	-3	-3
Net Lots Paying		153	153	153	153	153	153
Annual Dues	\$64,666	\$68,850	\$68,850	\$76,500	\$76,500	\$76,500	\$76,500
Special Assessments	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Legal & Costs Recovered	\$1,561						
Recording & Releasing	\$330						
Delinquent Dues	\$6,392	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000
Interest	\$1,943	\$250	\$250	\$250	\$250	\$250	\$250
Total Income	\$74,892	\$71,100	\$71,100	\$78,750	\$78,750	\$78,750	\$78,750
Expenses							
Landscaping	\$13,747	\$12,000	\$12,240	\$12,485	\$12,734	\$12,989	\$13,249
Professional Fees	\$1,287	\$1,200	\$1,224	\$1,248	\$1,273	\$1,299	\$1,325
Insurance	\$1,368	\$1,351	\$1,432	\$1,518	\$1,609	\$1,706	\$1,808
Office Supplies	\$220	\$332	\$339	\$345	\$352	\$359	\$367
Postage	\$164	\$92	\$94	\$96	\$98	\$100	\$102
Snow Removal	\$9,816	\$12,500	\$13,138	\$13,808	\$14,512	\$15,252	\$16,030
Utility	\$7,112	\$7,624	\$8,028	\$8,453	\$8,902	\$9,374	\$9,870
Maintenance (Incl Projects)	\$18,775	\$49,121	\$12,484	\$12,577	\$12,673	\$12,770	\$13,026
WG Condo Streets	\$896	\$927	\$948	\$970	\$993	\$1,016	\$1,039
WBE Streets	\$5,618	\$5,786	\$5,919	\$6,056	\$6,196	\$6,339	\$6,486
Management Fee - Villlage	\$2,911	\$2,844	\$2,844	\$3,150	\$3,150	\$3,150	\$3,150
Contingency (3%)	\$0	\$0	\$1,675	\$1,727	\$1,780	\$1,836	\$1,899
Total Expense	\$61,914	\$93,776	\$60,364	\$62,434	\$64,272	\$66,189	\$68,349
Net Profit (+) or Loss (-)	\$12,978	(\$22,676)	\$10,736	\$16,316	\$14,478	\$12,561	\$10,401
Year End Cash w/ C&V		\$28,719	\$39,455	\$55,771	\$70,249	\$82,810	\$93,211

Maintenance Committee

Jerry Hoffman, Dist 4



Maintenance Committee

Routine maintenance

- Lawn and Snow Removal accounts for 45% of our annual budget; current contractor – Kiefer Lawn & Landscaping
- Snow removal budgeted at \$12,000 per year. (Avg spend approx \$8,000 per season)
- Snow removal by WLE for 2018-19
- Will monitor County performance for other Subdivisions; Determine whether to use Jeff Co snow removal or continue to use private contractor.



Maintenance	
Street repairs	
Lake repairs/maintenance	
Common ground landscaping	
Tree trimming	
Vacant lot maintenance	
Entrances (gazebos, signs, etc.)	
Fences along common ground	
WLD rock wall erosion	
Sidewalks along common ground	
Boulevard median mulch/landscaping	
Snow removal	

Dumpsters for Spring cleanup day

Week of April 4-8, 2019

- 3rd season of reseeding and fertilization of common ground along WLD and cul du sacs, spring and fall cleanup of leaves, pampas grass, hedges and pear trees
- Pear trees removed from common ground along WLD
- Maintenance of white security fence at rear of WLDr . Remove growth hanging on fence. Scheduled for 11-12 2018.
- Two retention pond and other WLDr benches repaired, and repainted

Maintenance Committee



Future Projects

- Painting or replacing Gazebos being discussed
- Evaluate Fountain operation: methods and cost control
- Monitor Jefferson County ability to reliably remove snow/salt treatment
- Assess need to remove trees (WLE survey of dead/dying trees)
- Underbrush at along backside of dam.
- Monitor rock walls in subdivision

NEED VOLUNTEERS

Many thanks to volunteers who have helped: Ken Barker, Volkan Becker (resident engineer); Rosanna Grabow (contract admin);



Retention Basin

Current issues with Dam

- **Earthen Structure** - *Continuous* leaking along outside of concrete outfall pipe. This leak has caused significant erosion under the spillway adjacent to concrete pipe
- **Intake Structure** – *intermittent* leaking during winter, only
- **Discharge pipe** - *continuously* leaking at joint midway along pipe



Retention Basin

Background

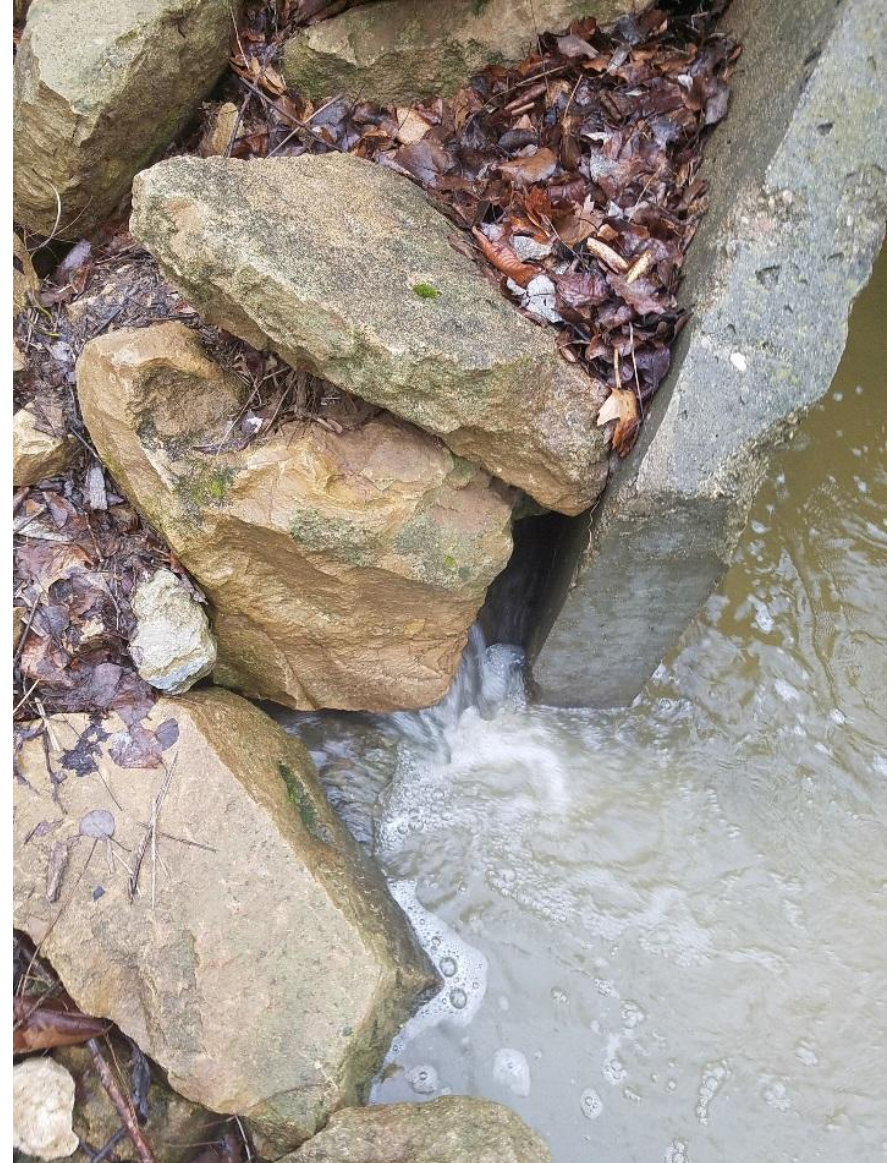
- Leak developed during the past 2 ½ years.
- ACTIONS TAKEN:
 - Dye studies to pinpoint leak.
 - Repair with Bentonite/ Aquablock per contractors' recommendation; also used foam injection and recommendation; leaks stopped
 - Record Meramec Floods of 12/31/15 and May, 2017 reopened leaks
 - Significant additional damage from homeless ground hog; (see photos)
- Fish population lost during floods
- Have visited with numerous contractors with experience in dam repairs
- Interfaced with suppliers, MO Am Water, basin maintenance specialists



Retention Basin

Background (cont'd)

- Retained original design engineer for subdivision to develop solution. Discussed project with 2 other engineers.
- Options considered:
 - Injection Grouting around pipe with sealing outside of intake structure
 - Expose pipe, install a seepage collar, backfill with new material, seal intake structure
 - Remove intake structure and pipe, deposit demo'd material on back side of dam. Rebuild dam with new material and add additional emergency spillway
- Engaged with more than 12 contractors for possible solutions and pricing.



Retention Basin

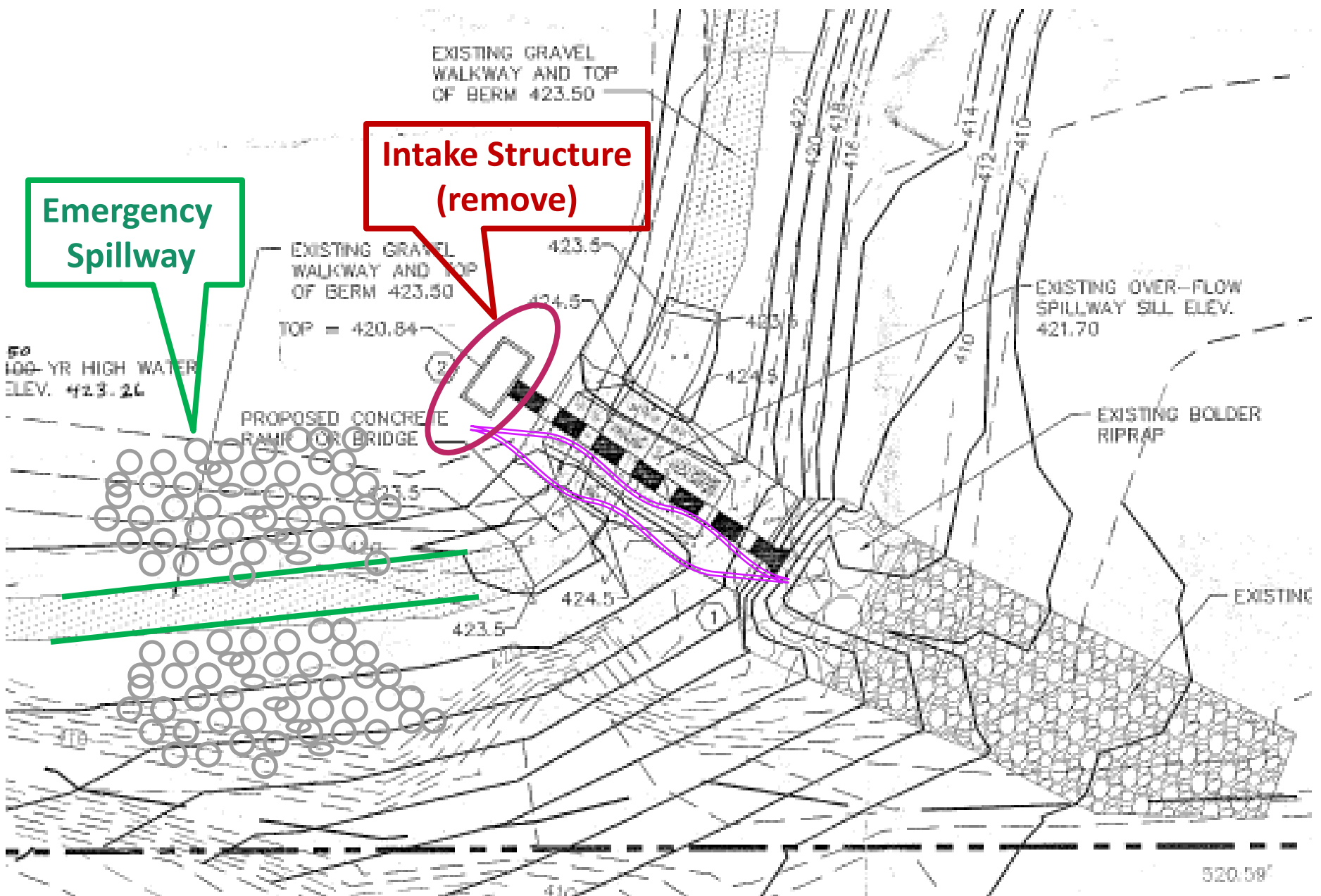
Current Proposed Solution

1. Drain the basin to two feet below flowline of pipe which will more than likely drain the whole basin
2. Dismantle bridge, set to the side, reinstall when primary spillway complete
3. Demo spillway, intake structure, concrete discharge pipe. Break into pieces, use as rip rap on back end of dam
4. Replace soil excavated from dam along current pipe location with new material
5. Install new spillway in current location
6. Reinstall bridge
7. Install a depression in the sidewalk west of current dam location to serve as emergency spillway

Issues:

1. Diesel pump may run 24/7 to empty lake;
2. Empty basin likely to smell
3. Basin to be closed 'til completion of project.





WATER AREA OF OCCURRED DURING JANUARY 3-7, 2005

RECEIVED
 NOV 17 2005
 Department

Retention Basin

TIMELINE

	Item description	Target Date	Due Date
	Final Engineered drawings for review		DONE 10/25
	Internal Review of Contractor contract	11/2	
	Receive revised bid based on final drawings	11/5	
	Contract Execution	11/9	
	Begin project (pump down)	12/3	
	Complete Construction	12/21	
	Restock Lake	Spring, 2019 Summer 2019	
	Install new fountains	Spring, 2019	

Retention Basin



WLE Retention Basin Repair	
Description	Total
Construction (contingent on rebid based on final drawings)	\$ 54,500
Dewatering	\$ 1,500
Restocking	\$ 2,700
Grand Total	\$ 58,700
Optional Work	\$ 7,000
- Rip rap around basin	
- Tree removal	
- Additional rip rap on discharge end of spillway	

WLE Fountains

- Issue:
 - Pump motors failing frequently; likely burning out
 - Motors said to be too “inexpensive” to repair.
 - Motors are sump pump motors; not designed for continuous use.
 - Leading cause of failure:
 - Continuous use
 - Plugging up
 - Abrasion (ice crystals)



WLE Fountains



WLE COST SUMMARY (Fountain Motors)		
DATE	ITEM	COST
6/1/2015	Replace pump motor	\$ 690.00
7/21/2016	Replace pump motor	780.00
6/29/2017	Replace pump motor	795.00
5/23/2018	Replace pump motor	750.00
appr 2/1/2018 (not yet replaced)		<u>750.00</u>
	5 motors in 3 years	\$ 3,765.00
	Average Replacement cost per year	\$ 1,255.00
	Annual Power cost (5/2016-4/2017)	\$ <u>1,083.00</u>
	Total Annual Cost	\$ 2,338.00

WLE Fountains



Recommendation:

- Switch to 2 year warranty pump/motor
- Operate intermittently
 - Recommendations: 12hr on/off; removal for clean-up and storage in winter months (5 months)
 - Reinstall in spring.
- Cost for pumps/motors \$2,500 each, installed.
- Cost to pull, store and re-install:
 - Approx \$400 for both pumps



Response to homeowner questions



Q: Re Shangri-La: Are we monitoring water drainage.

A: Yes, according to the Dep Director of Planning & Zoning, that hillside (29 acres) will be required to manage run-off. A retention basin will be required for the new subdivision. In fact, we will be invited in to county P&Z offices to review the project BEFORE opening for a public hearing.

Q: Our Water Retention Basin communications;

A: Robin has volunteered to keep residents near the Retention basin informed re any current issues. We have email addresses for every home in the area. We will post more general information for entire subdivision once we have a signed contract and agreed upon timeline.

Q: Gazebo's update/replacement/repainting.

A: Gazebo maintenance or replacement on hold until 2019; Priority given to urgent retention basin repair.

HOWEVER: The Trustees are recommending the homeowners who are directly impacted by a specific gazebo hold their own discussions and come to a mutual agreement and recommendation for their area. Suggestions could be:

- Repaint and minor repair- one estimate \$1,500 each (no shingles)?
- Remove and replace with concrete benches, picnic table?
- Remove and replace with landscaping?

Because these are on common ground, the cost will be covered by the HOA. However, the cost will need to be reasonable.

Response to homeowner questions (cont'd)



Q: **Speeding**

A: We can send out a notice to residents to watch their speed; beyond that residents should call and report speeding. Sheriff Marshak said in last year's annual meeting that if they know who the speeders are, a deputy can stop by and discuss speeding with those individuals. Residents should report excessive speeding to the sheriff's department. What about UPS, FedEx, and School Buses? Residents are encouraged to make note of the license plate and contact UPS, FedEx, Fox School District directly.

Q: **Parking on street**

A: We would ask that residents make full use of their own parking i.e. in their garages and full use of their driveway. We recognize that it is more convenient for homeowners who have multiple vehicles to park on the street to avoid the inconvenience of moving cars.

CURRENT JeffCo Planning & Zoning standard is 28' minimum width for subdivision streets and NO parking on one side of street. This was NOT the standard when Winter Lake Estates was first approved by Jefferson County. Dan Naunheim, Dep Director, Public Works, has told us that the County will not make changes to any street signage in subdivisions.



Response to homeowner questions (cont'd)



Q: Will there be a reduction in annual assessments related to turning over our street maintenance to Jefferson County.

A: The dues for 2019 will remain at \$450. For the following reasons:

1. The Jeff Co Road adoption program will not begin until Spring of 2019.
2. While there is no down side to being in the program, we do not yet know how quickly roads will be repaired and whether Jeff Co will follow the same diligence we have over the past few years to road maintenance. We will not let our roads go into dis-repair.
3. We are keeping our private snow removal contractor for this winter. We will likely continue this contract as we are very concerned about the timeliness of snow removal & ice treatment since our subdivision, like others in the county, are in the lowest priority. We are not willing to wait for days for removal, nor risk dangerous conditions on our hills.
4. We still need to have a reserve fund. Our subdivision is aging, and will continue to need updates. For example, we see deterioration in the rock wall along the WLD curve.

One of our goals for 2019 will be to assess all of these key points as part of our budget impact assessment for 2020 and beyond.



Response to homeowner questions (cont'd)



Q: Is Winter Bluff joining the road adoption program, and can we expect a reduction in the annual road dues we pay to them?

A: Yes, Winter Bluff was accepted and is joining the program. The Trustees believe we have some opportunity in the indenture wording to amend our annual payment and will address that in 2019 with Winter Bluff and Samarra.

Our indentures do specifically address a reduction in the annual road dues once a second exit is created.



Response to homeowner questions (cont'd)



Q: What is the plan for Landscape and maintenance around retention basin? (not basin repair). There seems to be many overgrown areas and lack of annual clean-up.

A: WLE maintains a reduced-frequency lawn service for common ground areas. We budget 25 grass cuttings per year in the lawn portion of the retention basin. To reduce shoreline erosion, we let an approx 4 foot wide section from water's edge to grow. This reduces shoreline erosion. We have budgeted cutting that growth for cutting 5 times per year. In the past the HOA has removed unsafe dead tree limbs. The HOA has never landscaped the retention basin. Recently, the HOA has added seeding and fertilizing grass to common ground areas along our streets. We will continue to provide this service. We are planning no added cosmetic features or improvements beyond what the HOA has performed in the past.

However, the Maintenance Committee is now down to 1 person. Any suggestions for improvement in preparation for the 2019 budget planning processes (December) are welcomed. Along with committee support to help address issues.

Q: Subdivision/Lake Clean-up day has been suggested by a homeowner This would ask volunteers to clean up common ground, common trimming, clean up to help reduce Kiefer cost.

A: This was positively received. Suggestion would be to incorporate this into the annual clean up scheduled for April 4-6 when we bring in yard waste dumpsters.

VIII. Close of meeting, 'til next year....

Thank you for your input and support!

If you have any questions, please email us.



**2018 Winter Lake Estates
Annual Meeting –
A Community Moving Forward**



WINTER LAKE ESTATES - ESTIMATED DAM REPAIR COSTS

	Item	Source	Supplier	Qty	Unit	\$/Unit	Total
Base Proposal							
	Mobilization	Quote	Rich Gullet	1	LS	1,760	1,760
	Access Path Construction	Quote	Rich Gullet	1	LS	1,314	1,314
	Removals	Quote	Rich Gullet	1	LS	5,896	5,896
	- bridge, concrete swale, outfall, pipe						
	- demo into 2' pieces						
	Clay Installation	Quote	Rich Gullet	1	LS	11,156	11,156
	- 2 ton bentonite						
	Concrete Swale	Quote	Rich Gullet	1	LS	6,860	6,860
	- 6" thick slab						
	- 1/2" rebar 2' c/c						
	- 45'x20'						
	Replace bridge in kind	Quote	Rich Gullet	1	LS	12,245	12,245
	Seed & straw	Quote	Rich Gullet	1	LS	2,158	2,158
							\$ 41,389
Required Add-Ons							
	Permit	Allow	Rich Gullet	1	LS	500	500
	Balance of Engineering	Allow	Vonax	1	LS	1,800	1,800
	Additional rip rap at back end	Allow	Rich Gullet	30	CY	35	1,050
Emerg	Remove existing sidewalk	Allow	Rich Gullet	480	sf	6	2,880
spillw:	Excavate	Allow	Rich Gullet	10	CY	50	500
	New Sidewalk with extended width	Allow	Rich Gullet	800	sf	8	6,400
							13,130
							Contractor Total Cost: 54,519
Dewatering							
	6" Pump	Quote	Missouri American	1	LS	-	-
	- 25' Suction hose						
	- 25' Discharge hose						
	- Maintenance						
	Suction Hose Rental - 20' section	Quote	K and K supply	1	MO	120	120
	Suction Hose Purchase - 20' section	Quote	K and K supply	1	EA	367	367
	Discharge Hose Rental - 50' section	Quote	K and K supply	2	MO	200	400
	5 gal fuel container	Allow		1	EA	60	60
	Diesel fuel - 20 gal/day 2 day, 1 gal/day 10 day	Allow		50	GAL	4	175
	Fountain Removal						1,122
Restocking							
	First stocking	Quote	Harrions Fisheries	1	LS	2,100	2,100
	Second Stocking	Quote	Harrions Fisheries	1	LS	600	600
							2,700
							GRAND TOTAL: \$ 58,341
Optional Add ons							
	Rip rap around lake	Allow	Rich Gullet	200	FT	10	2,000
	Tree removal	Allow	Rich Gullet	5	EA	750	3,750
	Additional rip rap at back end	Allow	Rich Gullet	30	CY	35	1,050
							\$ 6,800



Retention Basin

Background

- Leak developed during the past 2 ½ years.
- ACTIONS TAKEN:
 - Dye studies to pinpoint leak.
 - Repair with Bentonite/ Aquablock per contractors' recommendation; also used foam injection and recommendation; leaks stopped
 - Record Meramec Floods of 12/31/15 and May, 2017 reopened leaks
 - Significant additional damage from homeless ground hog; (see photos)
- Fish population lost during floods
- Dam requires significant repair:
 - Current approach – removal outfall structure and underlying 60" concrete pipe and spillway.
 - Replace with compacted clay; bulk of spillway to be rip-rap
 - Spillway contains simple weir (provides for detention)
 - NOTE: second "emergency" spillway may be required
 - Engineer studying hydrology now.
- Have visited with numerous contractors (most lack experience)
- Interfaced with suppliers, MO Am Water, basin maintenance specialists



Retention Basin

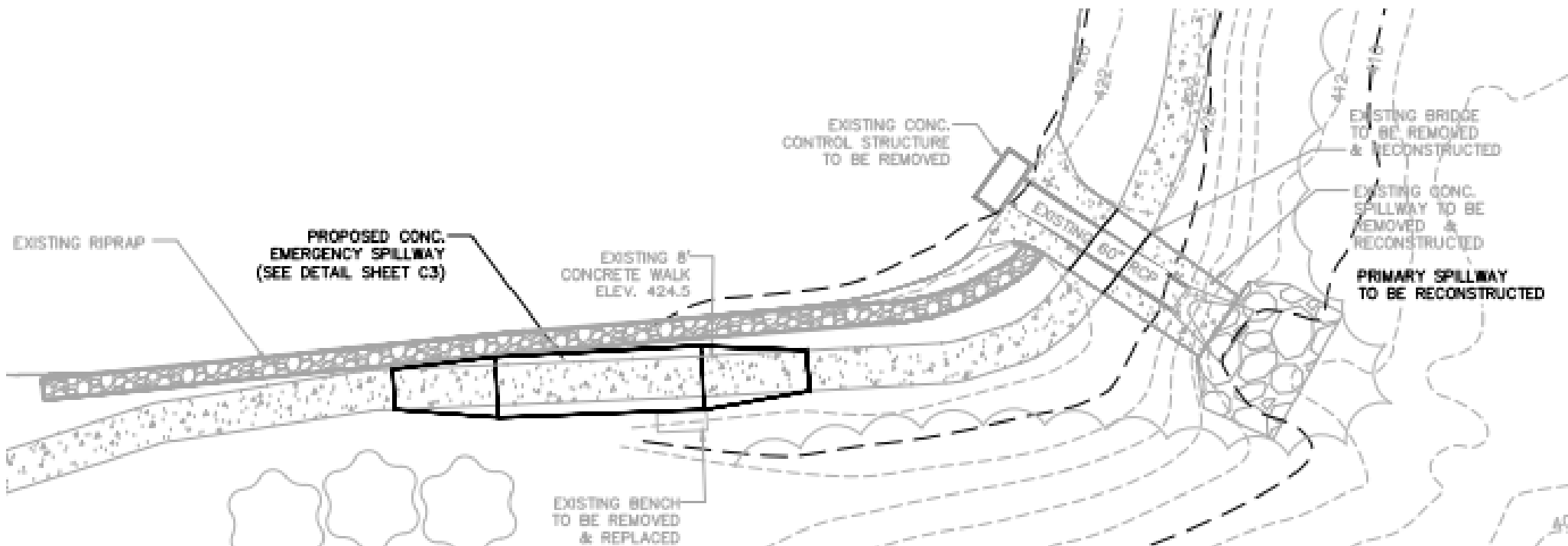
Current Proposed Solution

1. Drain the lake to two feet below springline of pipe which will more than likely drain the whole lake
2. Dismantle bridge, set to the side, reinstall when primary spillway complete
3. Demo spillway, intake structure, concrete discharge pipe. Break into pieces, use as rip rap on back end of dam project.

4. Replace soil excavated from dam along current pipe location with new material.
5. Install new spillway in current location.
6. Reinstall bridge
7. Install a depression in the sidewalk west of current dam location to serve as emergency spillway

Issues:

1. Diesel pump may run 24/7 to empty lake;
2. Empty basin likely to smell
3. Basin to be closed 'til completion of project.



2018 Annual Meeting

WINTER LAKE ESTATES

YELLOW cell: have homeowner see a Trustee

District 1

Attendance
11 of 52 attendees
9 of 34 homes

2018 Ann WLE Mtg.
11 of 52 attendees
9 of 34 homes

Registration/Attendance

Last Name	First name	Street No	Street Name	Dist 1	Home Phone	Cell Phone	Work Phone	Email
Green	Jared	1093	Winter Lake Dr	1		(573) 225-3332		jgreen3@live.maryville.edu
Markhart	Danielle	1093	Winter Lake Dr	1		(573) 275-1111		dsmarkhart@gmail.com
Wolff	Carrie	1094	Winter Lake Dr	1		(314) 188-6484		carrie.wolff@yahoo.com
Wolff	Stephen	1094	Winter Lake Dr	1		(314) 503-8146		steve.wolff81@yahoo.com
Giannas	Angela	1097	Winter Lake Dr	1		(314) 489-2930		angelaGiannas@gmail.com
Giannas	Emmanuel	1097	Winter Lake Dr	1		(314) 680-4727		EmmanuelGiannas@gmail.com
✓ Barker	Kenneth	1098	Winter Lake Dr	1	(636) 305-9945	(314) 596-8237		paraffindr@aol.com
✓ Barker	Paulette	1098	Winter Lake Dr	1		(314) 374-4127		paulettejgb@aol.com
✓ Fernandez	Jeanne	1101	Winter Lake Dr	1	(636) 600-0508	(314) 304-9119		jeannetini@gmail.com
		1101	Winter Lake Dr	1				
✓ Jauer	Judy	1102	Winter Lake Dr	1			#####	judy.jauer@gmail.com
Jauer	Ray	1102	Winter Lake Dr	1		(636) 305-3381	#####	riauer@sbcglobal.net
Narens	Carol	1105	Winter Lake Dr	1		(314) 570-6703		narensr4444@att.net
		1105	Winter Lake Dr	1				
Trost	Charis	1106	Winter Lake Dr	1		(314) 623-9887		charis5353@gmail.com
Trost	Joseph	1106	Winter Lake Dr	1		(314) 578-4327		joetrost7@yahoo.com
Mathews	April	1109	Winter Lake Dr	1				
Mathews	Brendan	1109	Winter Lake Dr	1		(434) 962-9783		brendan.mathews@gmail.com
Culjak	Amela	1110	Winter Lake Dr	1				
Culjak	Jerko	1110	Winter Lake Dr	1	(636) 326-9095			luka1998@att.net
Leszcz	Diana	1113	Winter Lake Dr	1		(636) 349-2272		dianaleszcz@gmail.com
Leszcz	James	1113	Winter Lake Dr	1				
Tatum	Katrina	1114	Winter Lake Dr	1	(636) 326-6313	(314) 677-0728		Katrinatatum@hotmail.com
		1114	Winter Lake Dr	1				
Stamm	Kathleen	1117	Winter Lake Dr	1		(314) 724-6836		thetwobrads@gmail.com
		1117	Winter Lake Dr	1				
✓ PAULUS Paulus	David	1118	Winter Lake Dr	1	(636) 600-0649			tbpaulus@msn.com
✓ Paulus	Tonya	1118	Winter Lake Dr	1		(314) 522-7916		Charter.net wldishome59@gmail.com
✓ Dierkes	Susan	1121	Winter Lake Dr	1		(314) 640-5935		
		1121	Winter Lake Dr	1				
Johans	Jody Ann	1122	Winter Lake Dr	1	(636) 600-0027	(314) 482-6382		sanguine13@yahoo.com
		1122	Winter Lake Dr	1				
✓ Robinson	Dennis	1125	Winter Lake Dr	1		(636) 288-8701	#####	dennis-robinson@att.net
Robinson	Janet	1125	Winter Lake Dr	1		(573) 659-3354	#####	trouter@netzero.net
Haines	Allen	1126	Winter Lake Dr	1	(636) 326-2288	(573) 659-3354		ekodoyce@swbell.net
Haines	Jennifer	1126	Winter Lake Dr	1		(314) 368-9084		
Kalal	Amy	1129	Winter Lake Dr	1	(636) 326-1172	(314) 560-0821		amymkalal@gmail.com
Kalal	Elmer (Jod	1129	Winter Lake Dr	1		(314) 974-7667		kalalej@gmail.com
✓ Chickering	Connie	1130	Winter Lake Dr	1		(314) 324-1839		cchickering2002@yahoo.com
Chickering	Ross	1130	Winter Lake Dr	1		(314) 265-6294	#####	chickering.r@gmail.com
✓ White	Jeff	1134	Winter Lake Dr	1		314 288 5103		jeffbgoofy@charter.net
White	Lynlyn	1134	Winter Lake Dr	1				israel@slu.edu
Tucker	Vacant	1135	Winter Lake Dr	1				
		1135	Winter Lake Dr	1				
Chierek	Adam	1138	Winter Lake Dr	1		(314) 304-7452		adam.chierek@hotmail.com
Chierek	Jenny	1138	Winter Lake Dr	1				jchierek@gmail.com
Wilke	Angela	1139	Winter Lake Dr	1		(314) 249-8389		angela.schmidt310@gmail.com
Wilke	Kevin	1139	Winter Lake Dr	1		(314) 608-9841		kevwilke06@hotmail.com

WINTER LAKE ESTATES

YELLOW cell: have homeowner see a Trustee

District _____

BF

<u>Last Name</u>	<u>First name</u>	<u>Street No</u>	<u>Street Name</u>	<u>Dist 1</u>	<u>Home Phone</u>	<u>Cell Phone</u>	<u>Work Phone</u>	<u>Email</u>
Fiscella	Theresa	1142	Winter Lake Dr	1		(703) 867-3039		tfiscell1@verizon.com
		1142	Winter Lake Dr	1				
Kerry	Kevin	1143	Winter Lake Dr	1		(3147) 324-6278		kevin.kerry@sbcglobal.net
		1143	Winter Lake Dr	1				
Farris	April	1146	Winter Lake Dr	1		(314) 650-9798		farrisfireflies@yahoo.com
Farris	Sheldon	1146	Winter Lake Dr	1		(314) 650-1038		
Cave	Jennifer	1147	Winter Lake Dr	1				
Cave	Michael	1147	Winter Lake Dr	1		(314) 246-0429		cavemanmac@me.com
Jones	Terry	1150	Winter Lake Dr	1		(314) 757-0435		terry.jonet@gmail.com
		1150	Winter Lake Dr	1				
Mujkanovic	Hamida	1151	Winter Lake Dr	1		(314) 620-4424		mhamidam@yahoo.com
Mujkanovic	Sakib	1151	Winter Lake Dr	1				
Ayrapetyan	Ruslan	1154	Winter Lake Dr	1		(314) 288-8337		Rmayrap@gmail.com
Ayrapetyan	Zarina	1154	Winter Lake Dr	1		(314) 808-4722		zaruhe@yahoo.com
Paulson	Daniel	1155	Winter Lake Dr	1		(920) 277-8088		dpaulson1150@gmail.com
Paulson	Brittany	1155	Winter Lake Dr	1				

WINTER LAKE ESTATES

YELLOW cell: have homeowner see a Trustee

District 2

*20 of 52 attendees
10 of 34 hours*

Last Name	First name	Street No	Street Name	Dist 1	Home Phone	Cell Phone	Work Phone	Email
Schlittler	Jack	1053	Winter Lake Dr	2		(636) 326-1474		
Schlittler	Mary	1053	Winter Lake Dr	2		(636) 326-1474		maryschlittler@att.net
Rogowski	Gary	1054	Winter Lake Dr	2	(636) 600-0459	(314) 302-2624		grogowski@charter.net
Rogowski	Kimberly	1054	Winter Lake Dr	2				k_rogowski@hotmail.com
Dang	Thuy Than	1057	Winter Lake Dr	2		(787) 929-1646		phnmtriet@yahoo.com
Baran	Chester	1058	Winter Lake Dr	2		(636) 326-5512		cpbaran@gmail.com
Baran	Mary	1058	Winter Lake Dr	2				
Spurgeon	Aaron	1061	Winter Lake Dr	2		(636) 584-3677		jmgoodman11@gmail.com
Spurgeon	Jordan	1061	Winter Lake Dr	2				
Karau	Betty	1066	Winter Lake Dr	2		(314) 374-4184		bkkarau68@hotmail.com
Karau	Keith	1066	Winter Lake Dr	2		(314) 374-4183		keith.karau@gmail.com
Jianlou	Jia	1070	Winter Lake Dr	2				
Yue	Yimei	1070	Winter Lake Dr	2		(314) 717-7768		yimeiyue@gmail.com
Marx	Jeff	1074	Winter Lake Dr	2		(314) 422-2254		jeff.marx@bmwautohaus.com
Marx	Marion	1074	Winter Lake Dr	2		(314) 952-5871		marion.marx@bmwautohaus.com
Becker	Volkan	1078	Winter Lake Dr	2		(314) 566-2211		volkanstl@outlook.com
Montano	Lisa	1078	Winter Lake Dr	2		(314) 368-0030		lmontano01@hotmail.com
Bowerson	Dennis	1081	Winter Lake Dr	2		(636) 305-6458		dbjb123@sbcglobal.net
Bowerson	Judith	1081	Winter Lake Dr	2		(314) 852-8703		
Whisler	Lisa	1082	Winter Lake Dr	2		(314) 707-2802		mlwhisler@sbcglobal.net
Whisler	Mike	1082	Winter Lake Dr	2		(314) 346-0624		mlwhisler@sbcglobal.net
DeSuza	Andrew	1085	Winter Lake Dr	2		(314) 814-2998		
DeSuza	Antonella	1085	Winter Lake Dr	2		(314) 814-3371		antonelladesuza@yahoo.com
Morhaus	David	1086	Winter Lake Dr	2	(636) 305-3477			dhmorhaus@aol.com
Morhaus	Mary	1086	Winter Lake Dr	2		(314) 307-3579		mtm001@charter.net
Ledbetter	Karen	1089	Winter Lake Dr	2	(636) 600-0071	(314) 303-5022		kml112@sbcglobal.net
Briesacher	Aaron	1090	Winter Lake Dr	2		(314) 413-1389		amb_900@hotmail.com
Briesacher	Jules	1090	Winter Lake Dr	2				
Pascua	Jerome (Cl	2	Winter Pond Dr	2		(314) 412-6301		j.c.pascua@sbcglobal.net
Chamberlair	Nicole	3	Winter Pond Dr	2		(314) 324-9352		
Pikul	Jason	3	Winter Pond Dr	2		(314) 757-5443		pikull@yahoo.com
Ruzicka	John	7	Winter Pond Dr	2		(314) 306-1622		john_ruzicka@hotmail.com
Ruzicka	Stacey	7	Winter Pond Dr	2		(314) 306-0143		
Arthur	Christina	8	Winter Pond Dr	2		(417) 263-0433		ccr0417@hotmail.com
Arthur	Richard	8	Winter Pond Dr	2		(314) 397-0777		rarthur@dukemfg.com
Freshley	Jessica	11	Winter Pond Dr	2		(314) 657-8357		jessicaFreshley@gmail.com
Freshley	Ryan	11	Winter Pond Dr	2		(314) 596-1957		freshley@me.com
Slama	Lindsey	15	Winter Pond Dr	2		(314) 580-0504		lnzymichelle@gmail.com
Slama	Stephen	15	Winter Pond Dr	2		(314) 583-0250		srslama@gmail.com
Lewis	John	16	Winter Pond Dr	2		(314) 835-7136		jplewis8@charter.net
Lewis	Sara	16	Winter Pond Dr	2				
Puccio	Victor	19	Winter Pond Dr	2		(314) 347-2578		victorpuccio@comporium.net
Puccio	Trudy	19	Winter Pond Dr	2		(856) 912-0049		trudie0927@comporium.net
Hawkins	Kimberly	23	Winter Pond Dr	2		(314) 221-7330		kim.hawkins@edwardjones.com
Hawkins	Ryan	23	Winter Pond Dr	2		(314) 221-7010		
Vidal	Danielle	27	Winter Pond Dr	2				

314-644-8084

danielle.vidal@icloud.com

WINTER LAKE ESTATES

YELLOW cell: have homeowner see a Trustee

District _____

<u>Last Name</u>	<u>First name</u>	<u>Street No</u>	<u>Street Name</u>	<u>Dist 1</u>	<u>Home Phone</u>	<u>Cell Phone</u>	<u>Work Phone</u>	<u>Email</u>
Johnson	Jeramey	27	Winter Pond Dr	2		(636) 346-1835		jerameyj@hotmail.com
Kitchell	Robin	30	Winter Pond Dr	2		(314) 913-1486		rkitchel@slu.edu
Barbeau	Josh	31	Winter Pond Dr	2		(314) 471-9601		joshbarbeau@gmail.com
Barbeau	Kelly	31	Winter Pond Dr	2		(314) 686-9712		kellycbarbeau@gmail.com
Mujic	Demal	34	Winter Pond Dr	2				mdemalm@gmail.com
Mujic	Mersiha	34	Winter Pond Dr	2				
Appling	Rionasis	35	Winter Pond Dr	2		(314) 737-0900		rionasis@yahoo.com
Appling	Shaquila	35	Winter Pond Dr	2		(314) 471-1803		mychefkiki@gmail.com
Leon	Michele	38	Winter Pond Dr	2				
Leon	Rafael	38	Winter Pond Dr	2		(636) 326-4907		emilou_13@hotmail.com
Zarachoff	Danny	39	Winter Pond Dr	2		(818) 919-8705		kingpilot87@yahoo.com
Zarachoff	Eline	39	Winter Pond Dr	2		(818) 571-5935		eapickle@yahoo.com

WINTER LAKE ESTATES

YELLOW cell: have homeowner see a Trustee

District 3

3 of 52 attendees
2 of 342 houses

Last Name	First name	Street No	Street Name	Dist 1	Home Phone	Cell Phone	Work Phone	Email
McClenahan	James	954	Winter Lake Dr	3	(636) 600-0704	(314) 973-0260	#####	jmcclenahan@hunter.com
McClenahan	Lynn	954	Winter Lake Dr	3	(636) 600-0704	(314) 267-1930	#####	lynnmc309@gmail.com
Longworth	Kurt	958	Winter Lake Dr	3		(314) 602-4862	#####	kdl0957@gmail.com
Longworth	Sue (Chery	958	Winter Lake Dr	3		(314) 623-3632		sue.longworth@yahoo.com
Grabow	Louis	962	Winter Lake Dr	3	(636) 343-6299			GrabowRET@sbcglobal.net
Grabow	Rosanna	962	Winter Lake Dr	3	(636) 343-6299	(314) 974-5106		Grabow6@sbcglobal.net
Weidner	Justin	963	Winter Lake Dr	3	(636) 600-0216	(314) 681-4559		ydner1@gmail.com
Weidner	Teresa	963	Winter Lake Dr	3	(636) 600-0216			
Hautley	Catherine	966	Winter Lake Dr	3	(636) 343-0599			
Hautley	Rudolph	966	Winter Lake Dr	3	(636) 343-0599			Rhautly@hotmail.com
Pilopovic	Elvira	967	Winter Lake Dr	3		(314) 269-6492		elvirapilipovic@gmail.com
Pilopovic	Jakup	967	Winter Lake Dr	3		(314) 269-6491		jakuppilipovic@gmail.com
Mendyka	Kalina	970	Winter Lake Dr	3		(314) 769-3386		
Mendyka	Kazimerz	970	Winter Lake Dr	3		(314) 769-3385		
Husic	Aida	971	Winter Lake Dr	3		(314) 686-9825		
Husic	Amir	971	Winter Lake Dr	3		(314) 596-6140		amir-husic@hotmail.com
Leue	Ellen	974	Winter Lake Dr	3		(630) 291-4522		ELeue@ballhort.com
		974	Winter Lake Dr	3				
Steurer	Jason	978	Winter Lake Dr	3		(314) 704-3899		citydick@hotmail.com
Steurer	Lisa	978	Winter Lake Dr	3		(314) 608-2249		lisjay@sbcglobal.net
Krupski	Philip	982	Winter Lake Dr	3		(317) 840-3202		pkrupski1@yahoo.com
Krupski	Maridee	982	Winter Lake Dr	3		(317) 373-8106		krupskiindy@sbcglobal.net
Kelley	David	986	Winter Lake Dr	3	(636) 575-2213	(636) 717-0879		
Kelley	Elizabeth	986	Winter Lake Dr	3	(636) 575-2213			bkelly1103@gmail.com
Speed	Rachel	990	Winter Lake Dr	3		(207) 228-4802		rachelghana@yahoo.com
		990	Winter Lake Dr	3				
Fleming	Ryan	994	Winter Lake Dr	3		(314) 885-4488		refleming05@yahoo.com
Fleming	Cami	994	Winter Lake Dr	3		(314) 714-8027		cam_7572@yahoo.com
Brailey	Robyn	998	Winter Lake Dr	3	(636) 600-0329	(860) 848-2433		robynbrailey@aol.com
Brailey	Scott	998	Winter Lake Dr	3	(636) 600-0329	(860) 861-2229		sbrb80@aol.com
Sprecher	Cecilia	1002	Winter Lake Dr	3		(314) 330-8365		aanikasma@yahoo.com
Sprecher	Kevin	1002	Winter Lake Dr	3		(314) 698-7994		KEVINTSPRECHER@GMAIL.COM
Baldwin	Doria	1006	Winter Lake Dr	3	(636) 600-1201	(314) 698-7794		baldwindoria@yahoo.com
Baldwin	Michael	1006	Winter Lake Dr	3	(636) 600-1201			
Reily	Elizabeth	1010	Winter Lake Dr	3		(314) 202-2828		whatelizabethwants@gmail.com
Reily	Michael	1010	Winter Lake Dr	3	(636) 678-7600	(314) 479-4537		seamus713@gmail.com
Gruver	Nick	1023	Winter Lake Dr	3		(618) 709-6209		nicholas.gruver@gmail.com
		1023	Winter Lake Dr	3				
Simon	Karen	1024	Winter Lake Dr	3		(812) 431-3494		karensimon@hotmail.com
Simon	Trever	1024	Winter Lake Dr	3		(314) 306-8122		trever.simon@us.abb.com
Serbousek	Jill	1027	Winter Lake Dr	3		(314) 435-7303		insserbousek@gmail.com
Serbousek	Scott	1027	Winter Lake Dr	3		(314) 607-7233		saserbousek@gmail.com
Womble	Kevin(son)	1028	Winter Lake Dr	3		(314) 256-7050		womblekevin@gmail.com
Womble	Sandra	1028	Winter Lake Dr	3		(314) 347-8839		womblesandy@gmail.com
Burtelow	Elizabeth	1032	Winter Lake Dr	3	(314) 932-5017	704-0369		
Burtelow	Robert	1032	Winter Lake Dr	3	(314) 657-8014	(314) 704-0369		burtelows@hotmail.com
Hutson	Chris	1033	Winter Lake Dr	3	(636) 305-1982			cjhutson2004@hotmail.com
Hutson	Joseph	1033	Winter Lake Dr	3	(636) 305-1982			
Hatton	Jennifer	1036	Winter Lake Dr	3		(314) 606-3662		

WINTER LAKE ESTATES

YELLOW cell: have homeowner see a Trustee

District _____

<u>Last Name</u>	<u>First name</u>	<u>Street No</u>	<u>Street Name</u>	<u>Dist 1</u>	<u>Home Phone</u>	<u>Cell Phone</u>	<u>Work Phone</u>	<u>Email</u>
Hatton	Joseph	1036	Winter Lake Dr	3		(314) 606-3661		Joseph_hatton@yahoo.com
Tabernik	Brea	1037	Winter Lake Dr	3		(314) 494-0271		breanscott@yahoo.com
Tabernik	Paul	1037	Winter Lake Dr	3		(314) 494-0372		paul.tabernik@gmail.com
Maddock	Scott	1040	Winter Lake Dr	3		(314) 477-6927		smaddockrn@yahoo.com
		1040	Winter Lake Dr	3				
Bielicke	James	1041	Winter Lake Dr	3	(636) 717-6552			bielicke04@gmail.com
Bielicke	Shannon	1041	Winter Lake Dr	3	(636) 717-6552	(314) 482-0094		stinkyangrykid@yahoo.com
Bowen	Steven	1044	Winter Lake Dr	3	(636) 326-6362			
Reichardt	Robin	1044	Winter Lake Dr	3	(636) 326-4562	(314) 413-4928		robinreichardt@sbcglobal.net
Schaefer	Craig	1045	Winter Lake Dr	3		(618) 534-4718		craigschaefer45@gmail.com
Schaefer	Danette	1045	Winter Lake Dr	3				
Leary	Angie	1049	Winter Lake Dr	3		(636) 236-3271		
Leary	Kevin	1049	Winter Lake Dr	3		(636) 675-1392		kevinpleary14@gmail.com
VanHoecke	Beth	1050	Winter Lake Dr	3		(314) 306-0603		
VanHoecke	Brian	1050	Winter Lake Dr	3		(314) 910-0051		BrianVanhoecke@yahoo.com

WINTER LAKE ESTATES

YELLOW cell: have homeowner see a Trustee

District _____

<u>Last Name</u>	<u>First name</u>	<u>Street No</u>	<u>Street Name</u>	<u>Dist 1</u>	<u>Home Phone</u>	<u>Cell Phone</u>	<u>Work Phone</u>	<u>Email</u>
Cook	Stacey	1	Winter River Ct	4		(314) 650-3564		stacey.cook1@yahoo.com
Mack	Alvin "Mac	2	Winter River Ct	4	(636) 326-1997	(314) 503-5050		miami-canessbcglobal.net
Mack	Christy	2	Winter River Ct	4	(636) 326-1997			
Simmons	Judy	3	Winter River Ct	4	(636) 678-7392			
Simmons	L.J.	3	Winter River Ct	4	(636) 678-7392			judith117simmons@gmail.com
Missey	Andrea	4	Winter River Ct	4	(636) 349-2368	(314) 620-6142		andreamissey@sbcglobal.net
Missey	Darrell	4	Winter River Ct	4	(636) 349-2368	(314) 852-4781		darrellmissey@sbcglobal.net
Roberts	Jeff	5	Winter River Ct	4		(636) 543-0647		jeffrey.roberts2@yahoo.com
Roberts	Sarah	5	Winter River Ct	4		(314) 322-5451		kaysrah@yahoo.com
Ferreria	Jose(Henri	6	Winter River Ct	4		(201) 674-1648		henrique1956@sapo.pt
Ferreria	Maria	6	Winter River Ct	4	(636) 326-4608	(201) 562-0381		
Hobbs	Jennifer	7	Winter River Ct	4				
Hobbs	Robert	7	Winter River Ct	4		(618) 791-3062		Rob6862269@yahoo.com
Ade	Grace	8	Winter River Ct	4	(636) 349-3056			gcskma@aol.com
Ade	Ken	8	Winter River Ct	4	(636) 349-3056			gcskma@aol.com

WINTER LAKE ESTATES

YELLOW cell: have homeowner see a Trustee

District _____

<u>Last Name</u>	<u>First name</u>	<u>Street No</u>	<u>Street Name</u>	<u>Dist 1</u>	<u>Home Phone</u>	<u>Cell Phone</u>	<u>Work Phone</u>	<u>Email</u>
✓ Dougherty	Nancy	154	Winter Lake Blvd	5		(314) 401-1792		momofbrats@aol.com
Busch	Dawn	158	Winter Lake Blvd	5	(636) 349-1862	(314) 913-5043		dawnbusch@sbcglobal.net
Busch	Jeff	158	Winter Lake Blvd	5	(636) 349-1862	(314) 610-8578		buschjr@sbcglobal.net
Newell	Angie	159	Winter Lake Blvd	5		(636) 751-9972		angiemikewell@yahoo.com
Newell	Mike	159	Winter Lake Blvd	5				angiemikewell@yahoo.com
✓ Halladay	Carolyn	163	Winter Lake Blvd	5	(636) 349-9478	(636) 751-9972		harrycarolynh@yahoo.com
Halladay	Harry	163	Winter Lake Blvd	5	(636) 349-9478			harrycarolynh@yahoo.com
Gunn	Lena	167	Winter Lake Blvd	5		(314) 440-0160		Lena.Gunn1@gmail.com
		167	Winter Lake Blvd	5				

WINTER LAKE ESTATES DAM REPAIR & IMPROVEMENTS

WINTER LAKE ESTATES 2 BOUNDARY ADJUSTMENT, COMMON GROUND 1B A TRACT OF LAND IN SECTION 2, TOWNSHIP 43 NORTH, RANGE 5 EAST

Fenton, Jefferson County, Missouri



LOCATION MAP

- THE UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, OR LOCATION OF THESE OR OTHER UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.
- ALL ELEVATIONS ARE BASED ON U.S.G.S. DATUM.
- ELEVATION CONTOURS PROVIDED BY JEFFERSON COUNTY LIDAR, PROPERTY LINES FROM DESIGN DRAWINGS, PROPERTY SURVEY BY ASSOCIATED LAND SURVEYORS, INC.
- ALL MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF JEFFERSON COUNTY.
- ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING AS REQUIRED BY THE JEFFERSON COUNTY PUBLIC WORKS DEPT. & MISSOURI DNR.
- PRIOR TO BEGINNING ANY WORK ON THE SITE, THE DEVELOPER SHALL HAVE A PRECONSTRUCTION CONFERENCE WITH THE COUNTY PRIOR TO ANY CLEARING, GRADING, OR INSTALLATION OF IMPROVEMENTS.
- GRADING CONTRACTOR SHALL INSTALL SILTATION CONTROL PRIOR TO STARTING THE GRADING. ADDITIONAL SILTATION CONTROL DEVICES SHALL BE INSTALLED PER THE CITY OF DESOTO.
- ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.
- GRADING CONTRACTOR SHALL KEEP EXISTING ROADWAYS CLEAN OF MUD AND DEBRIS AT ALL TIMES.
- PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON PAVED AREAS.
- NO GRADE SHALL EXCEED 3:1 SLOPE.
- A SEPARATE JEFFERSON COUNTY GRADING PERMIT AND LAND DISTURBANCE PERMIT ARE REQUIRED PRIOR TO ANY GRADING ON THE SITE. THE REQUIRED PERMITS ARE OBTAINED FROM THE COMMUNITY DEVELOPMENT DEPARTMENT. NO CHANGE IN WATERSHEDS SHALL BE PERMITTED.
- INTERIM STORMWATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES ARE REQUIRED.
- THE DEVELOPER IS REQUIRED TO PROVIDE ADEQUATE STORMWATER SYSTEMS IN ACCORDANCE WITH THE CITY OF DESOTO STANDARDS.
- ALL STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT.
- ADEQUATE TEMPORARY OFF-STREET PARKING SHALL BE PROVIDED FOR CONSTRUCTION EMPLOYEES. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS.
- THE DEVELOPER IS ADVISED THAT UTILITY COMPANIES WILL REQUIRE COMPENSATION FOR RELOCATION OF THEIR UTILITY FACILITIES WITHIN PUBLIC ROAD RIGHT-OF-WAY. UTILITY RELOCATION COST SHALL BE CONSIDERED THE DEVELOPER'S RESPONSIBILITY. THE DEVELOPER SHOULD ALSO BE AWARE OF EXTENSIVE DELAYS IN UTILITY COMPANY RELOCATION AND ADJUSTMENTS. SUCH DELAYS WILL NOT CONSTITUTE A CAUSE TO OCCUPANCY PRIOR TO COMPLETION OF ROAD IMPROVEMENTS.
- THE OWNER SHALL, AT ALL TIMES, CONTAIN MUD AND OTHER SPOILS ON THIS SITE. NO VEHICLE, TRAILER OR CONSTRUCTION EQUIPMENT IS TO DEPOSIT MUD OR ANY OTHER MATERIAL ON PUBLIC STREETS. PROJECT WILL BE STOPPED IF STREETS ARE NOT CLEANED IMMEDIATELY.
- WINTER LAKE DRIVE SHALL BE KEPT OPEN TO TRAFFIC DURING ALL PHASES OF CONSTRUCTION OF IMPROVEMENTS IN THE RIGHT-OF-WAY. NO DRIVING LANES SHALL BE CLOSED WITHOUT PRIOR WRITTEN PERMISSION FROM THE CITY OF FENTON.
- THE CONTRACTOR SHALL FURNISH, MAINTAIN, AND REMOVE TRAFFIC CONTROL DEVICES FOR THE PURPOSE OF REGULATING, WARNING, AND DIRECTING TRAFFIC DURING ALL PHASES OF CONSTRUCTION. ALL FLAGMEN, BARRICADES, WARNING SIGNS, ETC. SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES.

SITE DATA

PROPERTY OWNER: WINTER LAKE ESTATES POA
 EXISTING ZONING: R7
 SITE AREA: 10.23 AC.
 PARCEL NUMBER: 02-1.0-02.0-4-001-001.151

SERVICE DISTRICTS

SCHOOL DISTRICT: FOX C6 SCHOOL DISTRICT
 400 13th ST.
 FENTON, MO 63026
 636.343.7662
 FIRE DISTRICT: SALINE VALLEY
 1771 SPRINGDALE BLVD.
 FENTON, MO 63026
 636.343.9300
 AMBULANCE: ROCK TOWNSHIP
 6707 ST. LUKE'S CHURCH RD.
 BARNHART, MO 63012
 636.296.5066
 ELECTRIC: AMEREN UE
 800.552.7593
 TELEPHONE: AT&T
 800.331.0500
 SEWER: NORTHEAST PUBLIC SEWER DISTRICT
 1014 GRAVOIS RD.
 FENTON, MO 63026
 636.343.5090

DRAWING INDEX

C1	TITLE SHEET
C2	SITE PLAN
C3	NOTES
C4	DETAILS

ABBREVIATIONS

N/F NOW OR FORMERLY
 W WIDE
 DB. DEED BOOK
 PB. PLAT BOOK
 PG. PAGE
 CONC. CONCRETE
 SAN. SANITARY
 MH MANHOLE
 R RADIUS
 L LENGTH
 D DELTA
 TBR TO BE REMOVED
 TBR&R TO BE REMOVED & REPLACED
 UIP TO BE USED IN PLACE
 D.S. ROOF DOWNSPOUT
 w/ WITH
 EX./EXIST. EXISTING
 E.O.P. EDGE OF PAVEMENT

LEGEND

○ FOUND MONUMENTATION
 ○ CLEAN OUT
 ○ EM ELECTRIC METER
 ← GUY WIRE
 ○ UP UTILITY POLE
 □ TB TELEPHONE BOX/PEDESTAL SIGN
 MB MAILBOX
 B BENCHMARK
 —OE— OVERHEAD ELECTRIC
 —FO— FIBER OPTIC LINE
 —BT— BURIED TELEPHONE
 BUSH
 ○ DECIDUOUS TREE
 ○ GAS VALVE
 —○— SANITARY SEWER
 —□— STORM SEWER
 —○— GAS LINE
 —○— WATER LINE
 ---580--- EXISTING CONTOURS
 —600— PROPOSED CONTOURS

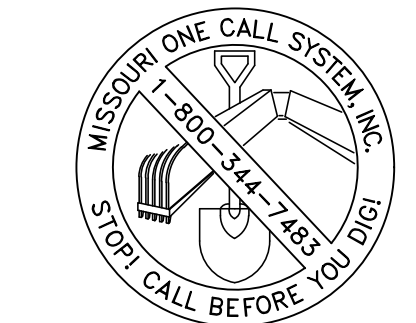
Revisions	
Date	

OWNER:
Winter Lake Estates HOA
 115 Winter Lake Blvd.
 Fenton, MO 63026

SCALE:
 DATE: 10/26/2018
 DRAWN: DAVID

VonArx Engineering
 CIVIL ENGINEER
 11715 BUSINESS CENTER BLVD. SUITE A
 WILMINGTON, MISSOURI 64098
 636.797.8425
 OFFICE: (636) 797-8425
 vonarx@vonarxengineering.com
 CERTIFICATE OF AUTHORITY 0975

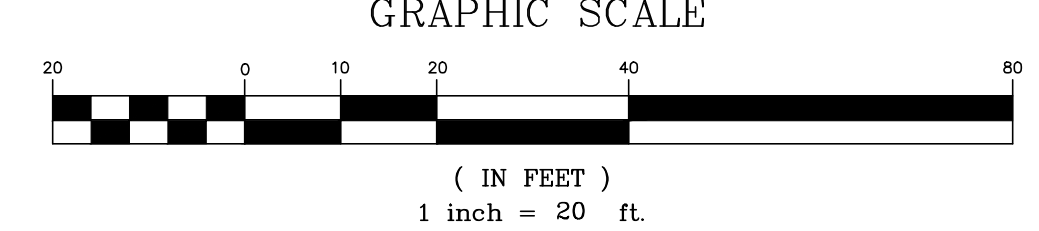
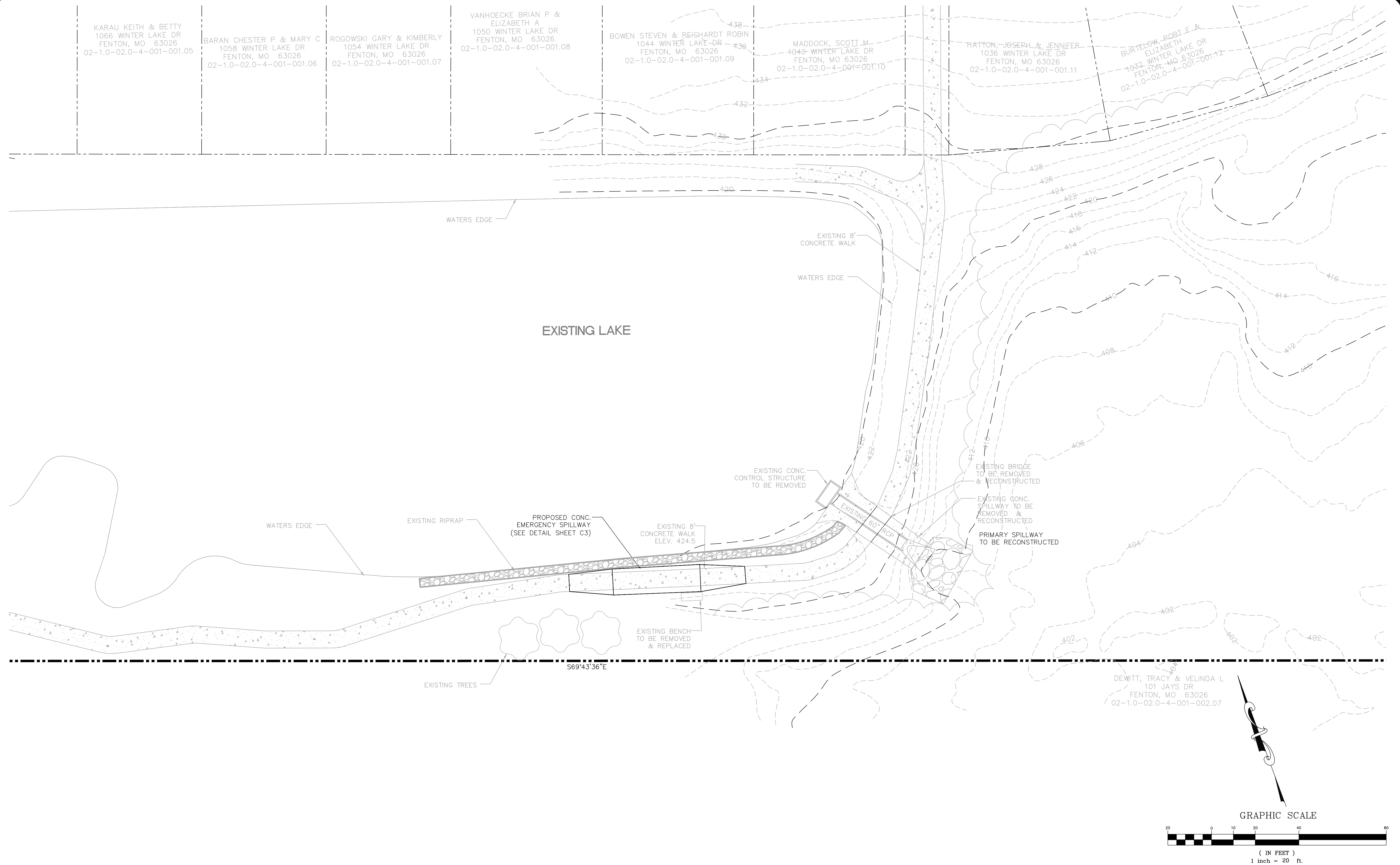
**WINTER LAKE ESTATES
 DAM REPAIR
 FENTON, MISSOURI**



CALL BEFORE YOU DIG!
 1-800-DIG-RITE

ISSUE DATE	10/26/2018
SCALE	NO SCALE
Job Number	15057
Sheet Number	C1

TITLE SHEET



THE UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, OR LOCATION OF THESE OR OTHER UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.

SITE PLAN

Revisions
Date

OWNER:
 Winter Lake Estates HOA
 115 Winter Lake Blvd.
 Fenton, MO 63026

SEAL
 DATE: _____
 DAVID VONARX E-26647

CIVIL ENGINEER
VonArx
 Engineering
 11715 BUSINESS CENTER BLVD. SUITE A
 WINTER LAKE, MISSOURI 63026
 636.930.1000
 vonarx@vonarxengineering.com
 OFFICE: (636) 797-8426
 CERTIFICATE OF AUTHORITY 0975

WINTER LAKE ESTATES
 DAM REPAIR
 FENTON, MISSOURI

ISSUE DATE	10/26/2018
SCALE	1" = 20'
Job Number	15057
Sheet Number	C2

CONCRETE GENERAL NOTES:

- ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED, IN ACCORDANCE WITH THE LATEST EDITION OF THE A.C.I. DETAILING MANUAL.
- ALL REINFORCING SHALL BE SUPPORTED IN FORMS, SPACED WITH NECESSARY ACCESSORIES AND SHALL BE SECURELY WIRED TOGETHER, IN ACCORDANCE WITH C.S.R.I. "REINFORCING BAR DETAILING", LATEST EDITION.
- MINIMUM CONCRETE COVER, UNLESS NOTED OTHERWISE:
UNFORMED SURFACE IN CONTACT WITH THE GROUND: 3 IN.
FORMED SURFACES EXPOSED TO EARTH OR WEATHER:
1 1/2 IN. FOR #5 BAR OR SMALLER
2 IN. FOR #6 BAR OR LARGER
FORMED SURFACES NOT EXPOSED TO EARTH OR WEATHER:
WALLS, SLABS: 3/4 IN.
BEAMS, GIRDERS AND COLUMNS (TO TIES OR STIRRUPS): 1 1/2 "
- ALL CONSTRUCTION JOINTS SHOWN ON DRAWINGS SHALL BE INCORPORATED INTO THE STRUCTURE, UNLESS THEIR ELIMINATION IS APPROVED BY THE ENGINEER. ADDITIONAL CONSTRUCTION JOINTS, REQUIRED TO FACILITATE CONSTRUCTION, SHALL BE LOCATED AT POINTS OF MINIMUM SHEAR AND SHALL BE DETAILED ON SHOP DRAWINGS WITH LOCATIONS SUBJECT TO APPROVAL BY ENGINEER. REINFORCEMENT SHALL PASS CONTINUOUSLY THROUGH THE JOINT.
- ALL ABUTTING CONCRETE MEMBERS SHALL BE DOWELED TOGETHER, UNLESS POURED MONOLITHICALLY. DOWELS SHALL BE EQUAL IN SIZE AND SPACING TO THE REINFORCING IN THE ADJECENT MEMBER.
- UNLESS OTHERWISE SHOWN IN THE DRAWINGS, PROVIDE 3.4" CHAMFERS AT ALL EDGES THAT ARE EXPOSED TO THE VIEW IN THE FINISHED STRUCTURE.
- BASE PLATES, ANCHOR BOLTS, SUPPORT ANGLES, ETC., BELOW GRADE SHALL BE COVERED WITH A MINIMUM OF 3" CONCRETE.
- PROVIDE CONTINUOUS WATERSTOP AT HORIZONTAL AND VERTICAL JOINTS BELOW GRADE.
- WHERE REINFORCING IS NOT INDICATED OR DEFINED, INCLUDE FOR BID PURPOSES ONLY:
A. WALLS: #5 EASH WAY EACH FACE. SPACING IN INCHES = 140 / (WALL THICKNESS IN INCHES) BUT NOT OVER 18" O.C.
- BEAMS: 1-#9 CONTINUOUS TOP AND BOTTOM FOR EACH 100 SQUARE INCHES OF BEAM CROSS SECTIONAL AREA AND #4 STIRRUPS SPACED AT 1/4 OF BEAM DEPTH FULL LENGTH OF BEAM.
- COLUMNS: 1-#9 VERTICAL PER 50 SQUARE INCHES OF CROSS SECTIONAL AREA AND #3 TIES @ 9" O.C.
- SLABS: #5 EACH WAY TOP AND BOTTOM. SPACING IN INCHES = 100/(SLAB THICKNESS IN INCHES) BUT NOT OVER 18" O.C.
ON SHOP DRAWINGS, INDICATE ABOVE REINFORCING AS "PER GENERAL NOTES". SUCH REINFORCING MAY BE REVISED OR RELOCATED BY STRUCTURAL ENGINEER DURING SHOP DRAWING REVIEW.
- PROVIDE STANDARD HOOKS ON BARS TERMINATING AT A CONCRETE FACE UNLESS NOTED (E.G.: EDGES OF OPENINGS, SLAB EDGES, EXPANSION JOINTS, ENDS OF BEAMS, AND AT: TOP, BOTTOM AND ENDS OF WALLS, ETC.)

STRUCTURAL STEEL:

- STEEL SHALL CONFORM TO THE FOLLOWING GRADES:
ALL WIDE FLANGE (U.N.O.), A992 GRADE 50 (FY=50)
ALL CHANNEL, ANGLE, BASE PLATES, CONNECTION PLATES (U.N.O.), A36 (FY=36)
STRUCTURAL PIPE: A53 (FY=35)
STRUCTURAL HSS RECTANGULAR TUBE: A500 GRADE B (FY=46)
STRUCTURAL HSS ROUND TUBE: A500 GRADE B (FY=42)
- ALL STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE A.S.C.I. CODE OF STANDARD PRACTICE (1992), EXCEPT AS MODIFIED IN THESE NOTES AND THE PROJECT SPECIFICATIONS.
- CONNECTIONS MAY BE BOLTED OR WELDED. THE FABRICATOR IS RESPONSIBLE FOR THE DESIGN OF CONNECTIONS NOT DESIGNED ON THE DRAWINGS. GENERALLY, CONNECTIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE SCHEMATIC AND ARE ONLY INTENDED TO SHOW THE RELATIONSHIP OF MEMBERS CONNECTED. ANY CONNECTION THAT IS SHOWN OR IS NOT COMPLETELY DETAILED ON THE STRUCTURAL DRAWINGS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF THE PROJECT, RETAINED BY THE FABRICATOR. COMPLETELY DETAILED MEANS THE FOLLOWING INFORMATION IS SHOWN ON THE DETAIL:
A. ALL PLATE DIMENSIONS AND GRADES.
B. ALL WELD SIZES, LENGTHS, PITCHES, AND RETURNS.
C. ALL HOLE SIZES AND SPACINGS.
D. NUMBER AND TYPES OF BOLTS: WHERE BOLTS ARE SHOWN BUT NO NUMBER IS GIVEN, THE CONNECTION HAS NOT BEEN COMPLETELY DETAILED.
E. WHERE PARTIAL INFORMATION IS GIVEN, IT SHALL BE THE MINIMUM REQUIREMENT FOR THE CONNECTION.
PRIOR TO FABRICATION, PROVIDE (FOR RECORD COPY) DESIGN CALCULATIONS FOR TYPICAL BEAM CONNECTIONS, ALL PRIMARY BRACING AND HANGER CONNECTIONS, SIGNED AND SEALED BY A PEOFSSIONAL ENGINEER REGISTERED IN THE STATE OF THE PROJECT SHALL BE SUBMITTED TO THE ENGINEER.

CONNECTION DESIGN FORCES:

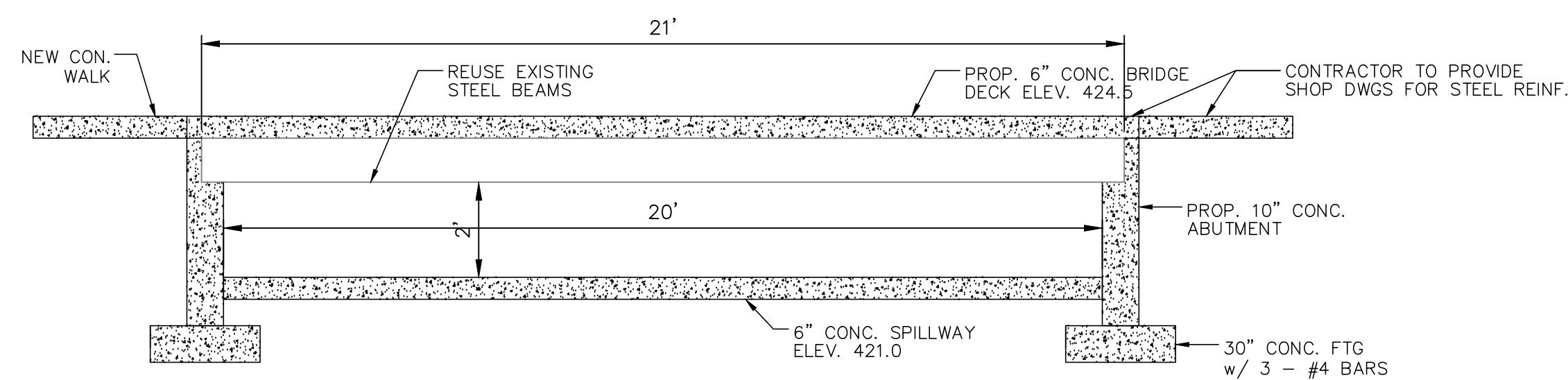
- BEAMS, GREATER OF:
55% OF TOTAL ALLOWABLE UNIFORM LOAD CAPACITY FROM A.I.S.C. 9TH EDITION TABLES FOR ALLOWABLE LOADS ON BEAMS, W_c/L.
REACTIONS SHOWN ON DRAWINGS.
10 KIPS.
- MOMENT CONNECTIONS INDICATED ON THE DRAWINGS THUS: {-<}{->} DEISGN FOR MOMENT SHOWN OR, IF NOT SHOWN, DEVELOP MOMENT CAPACITY OF MEMBER WITH f_b=0.66 F_y.
- MAINTAIN TENSION INDICATED OF COLUMNS, DIAGONALS AND MEMBERS SUBJECT TO TENSION AT BOLT HOLES, NOTCHES, OR COPEES.
- CONNECTION FORCE NOTATION:
P = AXIAL FORCE IN KIPS: (+) TENSION, (-) COMPRESSION
V OR [] = SHEAR IN KIPS
M = MOMENT IN FOOT KIPS
T = TORSION IN FOOT KIPS
- LOADS SHOWN INCLUDE COMPENSATION FOR CODE PERMITTED LOAD REDUCTIONS FOR CONNECTION DESIGN.
- THE MINIMUM PLATE THICKNESS SHALL BE 3/8".
- BOLTED CONNECTIONS:
A. MINIMUM BOLT DIAMETER = 3/4"
B. SLIP CRITICAL CONNECTIONS OF A325C OR A490SC BOLTS SHALL BE USED FOR ALL BOLTED CONNECTIONS OF BRACING MEMBERS, MOMENT CONNECTIONS, CANTILEVERS, AND AS SHOWN ON THE DRAWINGS. OVERSIZED AND LONG-SLOTTED HOLES ARE ALLOWED FOR SLIP CRITICAL CONNECTIONS.
C. ALL OTHER BOLTED CONNECTIONS SHALL BE BEARING TYPE USING A325N OR A490N BOLTS. OVERSIZED HOLES AND LONG-SLOTTED HOLES ARE NOT ALLOWED UNLESS SHOWN ON THE DRAWINGS.
D. A307 BOLTS MAY BE USED WHERE INDICATED ON THE DRAWINGS.
E. PROTRUDING BOLT HEADS, SHAFTS OR NUTS SHALL NOT EXTEND INTO NOR PROHIBIT THE APPLICATION OF ARCHITECTURAL FINISHED AND THEY SHALL NOT EXTEND INTO NOT PROHIBIT THE PLACEMENT OF STEEL DECKING TO THE CORRECT LINE AND ELEVATION.
F. THE FABRICATOR IS RESPONSIBLE FOR VERIFYING THE TENSION CAPACITY OF AXIALLY LOADED MEMBERS AFTER A SECTION IS REDUCED FOR BOLT HEADS. MEMBER SIZE MAY BE INCREASED OR CONNECTION PLATES ADDED AS REQUIRED.
G. SHOP DRAWINGS SHALL INDICATE THE TYPE OF BOLT USED IN EACH CONNECTION AND THE ALLOWABLE VALUES USED FOR THE VARIOUS BOLT TYPES.
- WELDED CONNECTIONS:
A. WELDS ARE CONTINUOUS UNLESS NOTED.
B. ALL FILLET WELDS: A.I.S.C. MINIMUM BUT NOT LESS THAN 1.4" UNLESS NOTED OTHERWISE.
C. ALL WELDING SHALL BE IN ACCORDANCE WITH THE CURRENT "STRUCTURAL WELDING CODE" (A.W.S. DI.1) PUBLISHED BY THE AMERICAN WELDING SOCIETY. ELECTRODES FOR WELDING SHALL COMPLY WITH THE REQUIREMENTS OF TABLE 4.1.1 OF (A.W.S. DI.1).
D. ALL GROOVE WELDS SHALL BE COMPLETE PENETRATION UNLESS NOTED OTHERWISE.
- SPLICING OF STEEL MEMBERS, UNLESS SHOWN ON THE DRAWINGS, IS PROHIBITED WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.
- NO CHANGES IN SIZE OR POSITION OF THE STRUCTURAL ELEMENTS SHALL BE ADE AND HOLES, SLOTS, CUTS, ETC., ARE NOT PERMITTED THROUGH ANY MEMBER UNLESS THEY ARE DETAILED ON THE APPROVED SHOP DRAWINGS.
- NO FINAL BOLTING OR WELDING SHALL BE MADE UNTIL AS MUCH OF THE STRUCTURE AS WILL BE STIFFENED THEREBY HAS BEEN PROPERLY ALIGNED.
- UNLESS NOTED OTHERWISE, BEAMS SHALL BEAR 8" MINIMUM ON CONCRETE OR MASONRY. ANCHOR BEAMS TO MASONRY OR CONCRETE WITH 2-3/4" DIA. ANCHOR BOLTS OR WELDED TO EMBED PLATE.
- FABRICATE ALL BEAMS WITH THE MILL CAMBER UP.
- SHEAR STUDS: CONFORM TO A.W.S. DI-1-98, SHOP WELD EXCEPT WHERE APPLIED THROUGH METAL DECK.
- HEADED STUDS SHALL CONFORM TO A.W.S. DI-1-98, SHOP WELD EXCEPT WHERE APPLIED THROUGH METAL DECK. HEADED STUDS SHALL CONFORM TO A.S.T.M. A108, GRADE 1015, WELDABLE (F_y = 65 K.S.I.).
- WHERE FIREPROOFING IS REQUIRED, ADJUST FIREPROOFING THICKNESS BASED ON MEMER SIZES. SEE ARCHITECTURAL DRAWINGS FOR FIREPROOFING REQUIREMENTS AND THICKNESS.
- THE FABRICATOR IS RESPONSIBLE FOR THE DESIGN AND DETAILING OF STEEL STAIRS. STAIRS SHOWN ON THE STRUCTURAL DRAWINGS ARE SCHMETIS AND ARE ONLY INTENDED TO SHOW THE RELATIONSHIP OF MEMBERS CONNECTED. STAIRS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF THE PROJECT, RETAINED BY THE FABRICATOR.

GENERAL NOTES

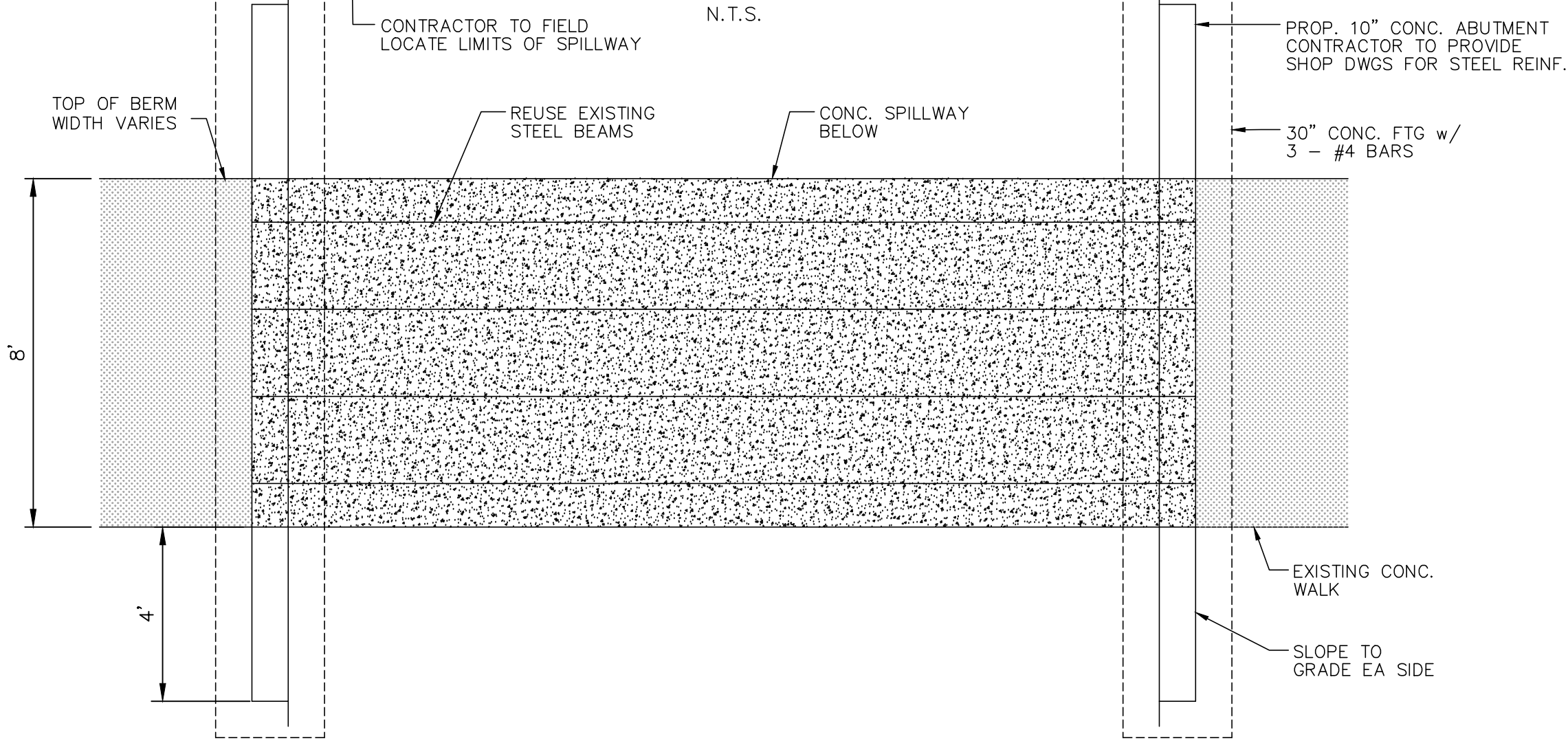
- THE STRUCTURAL DOCUMENT (DRAWINGS & SPECIFICATIONS) - MUST NOT BE USED WITHOUT THE CONSTRUCTION DOCUMENT OF OTHER DISCIPLINES. COORDINATION BETWEEN STRUCTURAL DOCUMENT AND OTHER DISCIPLINE'S DOCUMENT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE SUBCONTRACTOR RESPONSIBLE FOR THE WORK.
- EXISTING CONDITIONS SHOWN ON THE STRUCTURAL DOCUMENT ARE CONCEPTUAL & MUST BE VERIFIED IN THE FIELD BY GENERAL CONTRACTOR PRIOR TO DETAILING, FABRICATION, & CONSTRUCTION OF RELATED WORK.
- ALL ITEMS REQUIRED BY OTHER DISCIPLINE'S WORK & IMPACTING THE STRUCTURAL WORK SUCH AS CASTING OF ANCHORS, SLEEVES, CONDUITS, OPENINGS, SUPPORTS FOR & BRACING FOR NON-STRUCTURAL COMPONENT SHALL BE IDENTIFIED BY SUBCONTRACTORS RESPONSIBLE FOR SUCH WORK & SUBMITTED WITH DETAILS FOR STRUCTURAL ENGINEER'S APPROVAL.
- THE SEOR IS NOT RESPONSIBLE FOR MEANS, METHODS, AND SEQUENCE OF WORK. ALL TEMPORARY BRACING, SHORING, COMPLIANCE WITH OSHA REGULATIONS & SOILS REPORT AND GENERAL STABILITY OF INDIVIDUAL STRUCTURAL COMPONENT DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- WHERE SPECIFIC DETAILS ARE NOT IDENTIFIED ON THE STRUCTURAL PLANS, REFER TO TYPICAL DETAILS AND UTILIZE INDUSTRY STANDARD PRACTICE AS IDENTIFIED IN SPECIFIED CODES, REGULATIONS, AND STANDARDS.

NOTES

Revisions	
Date	
OWNER:	Winter Lake Estates HOA 115 Winter Lake Blvd. Fenton, MO 63026
SEAL	DATE: _____ DRAWN: _____
CIVIL ENGINEER	 VonArx Engineering 10705 BUSINESS CENTER BLVD. SUITE A WINTER LAKE, MISSOURI 63026 636.968.7977 vonarx@vonarxengineering.com CERTIFICATE OF AUTHORITY 0975
	WINTER LAKE ESTATES DAM REPAIR FENTON, MISSOURI
ISSUE DATE	10/26/2018
SCALE	NO SCALE
Job Number	15057
Sheet Number	C3

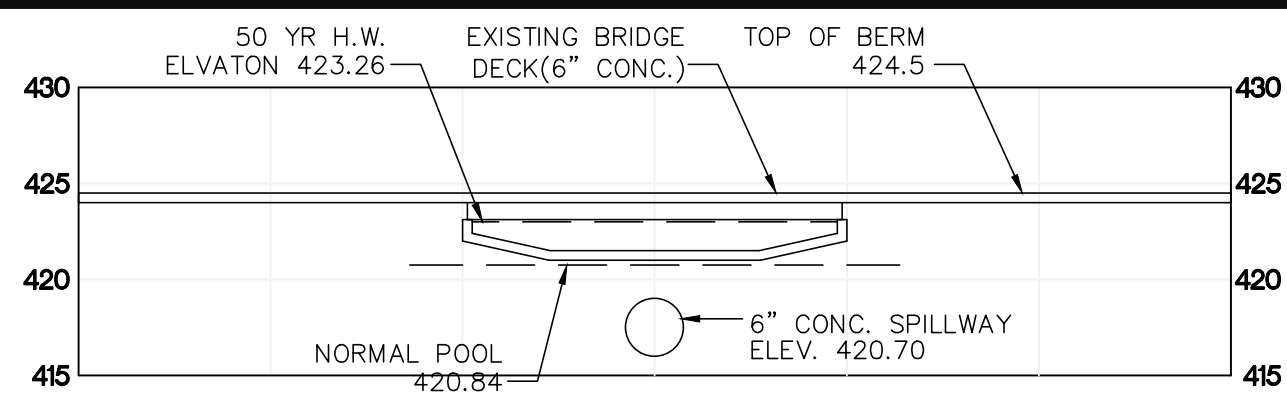


PRIMARY SPILLWAY DETAIL



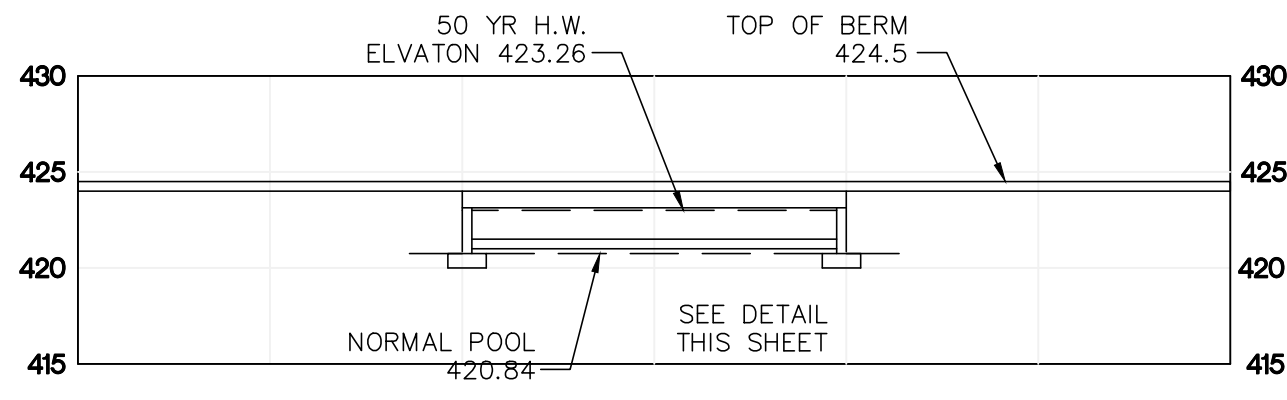
BRIDGE AND PRIMARY SPILLWAY PLAN VIEW

N.T.S.



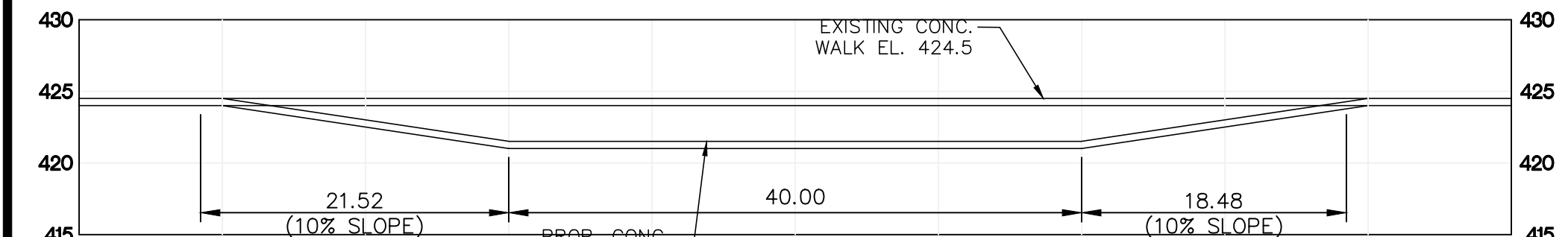
EXISTING SPILLWAY ELEVATION

HORIZ SCALE: 1"=10'
 VERT SCALE: 1"=10'



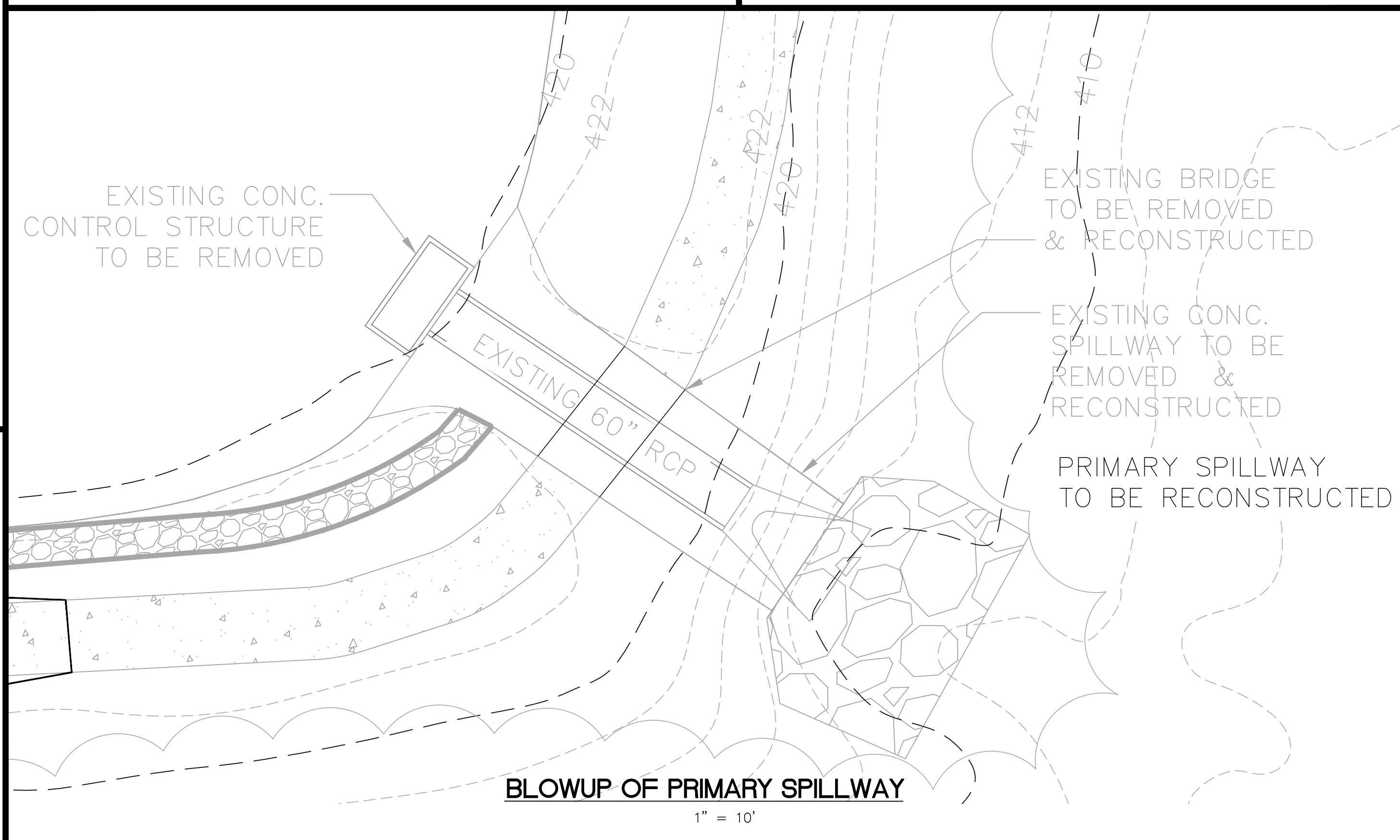
EXISTING SPILLWAY ELEVATION MODIFIED

HORIZ SCALE: 1"=10'
 VERT SCALE: 1"=10'



EMERGENCY SPILLWAY ELEVATION MODIFIED

HORIZ SCALE: 1"=10'
 VERT SCALE: 1"=10'



NO.	REVISIONS

OWNER
 Winter Lake Estates HOA
 115 Winter Lake Blvd.
 Fenton, MO 63026

SEAL
 DATE
 DAVID VONARX E-26647

CIVIL ENGINEER
VonArx Engineering
 10716 BUSINESS CENTER BLVD. SUITE A
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 CERTIFICATE OF AUTHORITY 0975

WINTER LAKE ESTATES
 DAM REPAIR
 FENTON, MISSOURI

ISSUE DATE
 10/26/2018
 SCALE
 AS NOTED
 Job Number
 15057
 Sheet Number

C3

DETAILS