Web: www.winterlake.org Address: PO Box 292, Fenton, MO 63026-0292 E-mail: trustee@winterlake.org

DATE: 31 October 2018

Winter Lake Estates Annual meeting, October 29, 2018, 7:05pm

#### Meeting notes:

attendance: 52 residents (registration rosters attached) attending; 20 residents or 38% of total attendees from Dist 2 (Retention basin area)

34 homes represented (22% of all homes)

(2017 attendance was 31 persons.

- trustees present: R Reinhardt, S Ishmael and Dom Bausano
- Committee chairs present and presenting:

Cecilia Sprecher, Communications (absent)

Jerry Hoffman, Maintenance

Jeanne Fernandez, Architectural Control (ARC) and Safety

David Morhaus, Finance

• Homeowners not participating due to dues not paid: (5)

Meeting opened by R Reichardt, welcoming remarks.

three major projects: presented and discussed

- 1. Project Shangri La redevelopment of Shangri La
- 2. Jefferson County street adoption program
- 3. Repair of Retention Basin dam and spillway structures

(cost estimate: \$57,000 to \$65,000)

Presentation of Winter Lake Estates HOA status given (see attached ppt slides) Q&A session made up of questions submitted via email.

#### Dom Bausano added:

- 1. need for volunteers for Maintenance, Projects, Architectural Control.
- 2. Any issues re safety/security should be turned in to Jefferson County Sheriff's department via 911 call.

Note: significant concerns over neighbors speeding. HOA to send out emails to residents.



dom bausano, Trustee, Winter Lake Estates HOA



## **AGENDA**



<b>I.</b>	Introduction – Welcome (Robin Reichardt)	P1-3
II.	Achievements (Robin Reichardt)	P4-5
	Project – Shangri-La	P6-11
III.	Organization (Dom Bausano)	p12-16
V.	Reports	
	A. Architectural Control/ Safety (RR)	P16-21
	B. Communications (CS)	P22-25
	C. Finance (DM)	P26-30
	D. Maintenance (JH)	P31-33
	Project – Leak (VB)	P34-43
VI.	Response to homeowner questions (RR)	P45-47
VII.	Close of Meeting	

## **ON GOING MISSION**



- Develop a friendly & helpful community
- Provide services and manage standards to maintain and/or improve property values
- Assure that we have a safe community

#### DRIVERS: ALL IN SUPPORT OF MISSION.

- Improved Communications (dialogue two-way)
- Involve homeowners on grass-roots basis
  - Need Volunteers
    - ARC/Safety
    - Maintenance
- Pro-actively manage:
  - indenture defined issues
  - community support issues

## **Achievements 2018**



#### Jefferson County Street Adoption program

- Overwhelming approval by homeowners:
  - 82% of homeowners signed petition for program; only four "no's"; rest of homeowners could not be contacted
- Using newly found funding, Jefferson County has re-installed its street adoption program (suspended in 1997); Pending completion of agreement and acceptance by County Council in mid-Spring, 2019
- Jefferson County takes on resp for street maintenance viz. repair/replacement w/ like kind surface, snow/ice removal and all storm sewers/bridges under streets.
- All street signs, rules and regulations remain in effect.
- Vehicle regulations/enforcement remain in effect by Sheriff's department
- Homeowners remain responsible for landscaping and sidewalks up to the curb line.
- Budget impact (undetermined at this time) snow removal

#### Collection of past due assessments

- Delinquent assessment in 2014 of approx \$17,000 (this does NOT include 10% delinquent interest charges in 2018 to \$2,466 as of 10/25.)
- Management company uses: Liens, Legal notices, Court action, Collections based on court ordered settlement including garnishment

# Achievements 2018 (cont'd)



#### Retention basin repair: (see later)

- Two floods after January 1, 2016 flooding then damaged again May 1,2017 plus homeless ground hog caused irreparable damage.
- Various volunteers have worked for three plus years to patch dam leak (dye studies, use of bentonite clay (2 tons), etc...
- Retention basin leaks continuously; typically 12-15 inches lower than normal
- TO-DATE DISCUSSION IN MAINTENANCE PRESENTATION

#### Project – Shangri-La (see later)

- Looks like redevelopment of trailer area imminent
- Benefits to Winter Lake Estates :
  - Direct: provides safe ingress/egress for Winter Lake Estates homeowners
  - In direct: (But Very significant) improve property values; improve safety
  - Provides opportunities, should we choose to pursue them; reduced opn cost, better use of assets.
- Safer access to Old 141. Second entrance in case of an emergency.



# Shangri La Flats Redevelopment

## **Committee**



Trudie Puccio -Chair 19 Winter Pond Dr. **Darrell Missey** 4 Winter River Ct. Jeanne Fernandez 1101 Winter Lake Dr. Kevin Wilke 1139 Winter Lake Dr. **Lnzy Slama** 15 Winter Pond Dr. Dom Bausano, Trustee 115 Winter Lake Blvd.



# **Committee Objectives**



#### Who are we:

We are Your Neighbors
Volunteers willing to share

our professional expertise

#### Including:

Engineering

Construction,

residential/industrial

Former law enforcement

Sales

Communications

We care about our

community and

development



Our goal is to support the potential addition to our development in a positive manner with minimal impact to our current way of life.

# Special Project – Shangri-La



#### **Redevelopment Overview:**

Maximum of 150 Homes
Single Family Detached Homes

Ranch to one to 1-1/2 Story Models 1250-2000 sq ft

Replacement of Streets

Upgraded Water, Sewer, Lighting





# Special Project – Shangri-La

Currently approx 86 trailers on 194 lots, (google map) approx 45% capacity



## **Effects on Winter Lake**



#### How it Effects Winter Lake:

Connection to Winter Pond Drive

**Traffic Flow** 

Storm Water Control

**Increased Home Values** 

Possible Combined Home Owner Association could require same indentures



# **WLE Organization & Function**



- 1. Three Trustees to serve 3 years:
  - Carry out HOA mission, Follow indentures, authorized to transact for the HOA;
     have responsibility and authority....
  - Trustees elected, at large, by members
  - Appoint committee chairs to manage specific functions: Maint, ARC&Safety,
     Communications, Finance
  - Will be reviewing need for additional Trustees
- 2. Committees self-governed and make recommendations to Trustees for action.
- 3. District Reps (2 per district) to act as Liaison and summarize needs. (note: need district rep for District 3.)



- Subdivided to ensure grass roots representation of neighborhoods
- Divide work-load
- Each has about 30 homes; minimum two reps

# **District Reps**



If your address is:	You are in District:	Your Rep(s) is/are:	Your Rep's Address
Between 1093 & 1155 WLDr	1	Theresa Fiscella	1142 WLDr
		Jeanne Fernandez	1101 WLDr
Between 1054 & 1090 WLDr;	2	Jack Schlittler	1053 WLDr
Or Winter Pond Dr	2	Dave Morhaus	1086 WLDr
Between 954 & 1050 WLDr	3	Lynn McClenahan	954 WLDr
Between 922 & 950 WLDr			
Or Winter Lake CIRCLE	4	Niki Caito	909 Winter Brook DR
Or Winter Brook DR	4	Dawn Crump	946 WLDr
Or Winter River CT			
All of Winter Lake BLVD	5	Carolyn Halladay Susan Wall	163 WLBlvd 105 WLBlvd

#### **Objectives:**

- Communicate, support area homeowners
- As members of the Management Team, Offer input representing their district
- Volunteer on as needed basis

## **COMMITTEES**



- Architectural Control & Safety Jeanne Fernandez (Dist 1)
  - min budget legal expense
  - Indenture enforcement, monitor improvements, safety issues.
- Finance Dave Morhaus (Dist 2)
  - assess data from banks/Management company
- Communications Cecilia Sprecher (Dist 3)
  - Website
  - Social Media
- Maintenance Jerry Hoffman (Dist 4)
  - On-going lawn, snow removal, (45% of 2015 budget)
  - asset repair/replacement (painting benches and signposts)
- Special Projects
  - Project Shangri-La (Trudie Puccio, Chair; Jeanne Fernandez, Chair ARC; Kevin Wilke, Lindsey Slama, Darrell Missey)
  - Project Leak (Volkan Becker, Engineering/Construction; Rosanna Grabow, Contract
     Review)





COMMITTEE	CHAIR(S)	EMAIL ADDRESS	NEXT MEETING
Maintenance	Jerry Hoffman	jhoffman622@gmail.com	
ARC & Safety	Jeanne Fernandez	Arcandsafety@winterlake.org	
Communications	Cecilia Sprecher	cecilialsprecher@gmail.com	
Finance	Dave Morhaus	dhmorhaus@aol.com	



# **Architectural Control & Safety (ARC)**

# Architectural Control & Safety Committee (ARC)



#### **Critical Issue by Homeowners**

(10/14 Survey)

Architectural Control				
Street parking enforcement				
Traffic/speeding issues				
Homeowner upkeep enforcement (weed	s, mowing, e			
Lake usage/trespassers enforcement				
Dog rules enforcement (leash law)				
Trash cans left out enforcement				
Illegal parking (on grass, RVs or boats in driv	/eway)			
Crime/safety issues with trailer park/apartme	ents			
Adding second entrance (at Winter Pond en	d)			
Approval on home/driveway additions				
Sheds/fences/pools approvals				
Liaison with Police and other JeffCo gov	t. agencies			

#### 2018 ARC Guidelines and Check-List



"The purpose of this summary is to give the reader an idea of what is intended in the Winter Lake Estates HOA indentures. This document should be used for guidance only and not intended to replace or alter the WE Indentures."

- 1. Homeowner in Good Standing
- Homeowner submits Plans to Architectural Committee for review and recommendation
  - Project Description
  - ☐ Drawings/Schematics
  - Material samples or images to be used
  - ☐ Full contact information of the contractor
- 3. Response w/in 30 days after submission of all info. Homeowner provides payment of Deposit to Trustees
- 4. Formal Approval Provided by Architectural Committee and Trustees
- 5. Review and Approval at Project Completion
- 6. Return of Homeowner deposit

#### 2017 ARC Guidelines and Check-List



#### Winter Lake Estates Building Approval Check-List

- 1. Homeowner in Good Standing? Yes / No
- 2. Project Description (e.g. new fence; deck replacement; new roof)
- 3. Drawings/Schematics (Please attach to this form)
- 4. Materials to be used (e.g.manufacturer, style, specifications, color,...
- Full Contact Information of Contractor (get JeffCo permits)
   Name, Address, Phone, Email
- 6. Deposit provided? Yes / No
- 7. ARC MEMBER Comments:

**Architectural Control Committee (ARC)** 

# Winter Lake Estates

#### **Achievements:**

- Approval for changes to exterior of homes:
  - 3 roof replacements
  - o 2 decks
  - One fence and patio enlargement

2018 Winter Lake Estates ARC PROJECTS						
номеоч	VNER	ADDRESS	PROJECT	STATUS		
		986 Winter Lake Drive	Deck/All season Room	Approved, under construction		
	N	1032 Winter Lake Drive	Roof replacement	Completed March 2018		
		115 Winter Lake Blvd	Roof replacement	Completed May 2018		
		19 Winter Pond Drive	Fence, patio enlargement	Completed August 2018		
		139 Winter Lake Blvd	Roof replacement	Completed October 2018		
	N	950 Winter Lake Drive	Deck	Approved, pending receipt of deposit		



## **Communications Committee**

Cecilia Sprecher, Chair, Dist 3





#### **Critical Issue by Homeowners:**

"need more communications re Winter Lake Estates issues/ projects" (10/14 Survey)

#### **Communication Tools**

Facebook

Website

**Email Blasts** 

**Meeting Announcements** 

**Meeting Minutes** 

MEMBER	DISTRICT
Cecilia Sprecher	3
Chair	
Jeanne Fernandez	1
Lindsey Slama	2
Dan Bailey	5

## **Communications Committee**



#### Chair: Cecilia Sprecher, WLD

- Manages communication w/in WLE via FB and email
- Projects Finalized
  - New website was released in March 2017
- Projects underway
  - No current projects
- Future:
  - Schedule next meeting

#### **Contact Info**



Website: www.winterlake.org

Facebook group:

www.facebook.com/groups/winterlakeestates

Email - HOA: <a href="mailto:trustee@winterlake.org">trustee@winterlake.org</a>

- ARC & Safety for project approvals

ARCandSafety@WinterLake.org

**Finance Committee** 





Anyone interested in joining the committee, please contact David Morhaus

#### **Financial Overview 2018**



#### Goals:

- ✓ Make all fiscal matters transparent
- ✓ An additional resource to assist trustees
- ✓ Fund committee activities -- primarily maintenance (streets, snow removal, common ground care, etc.)
- ✓ Review funding for repair/replacement projects
- ✓ Build reserve fund to cover unexpected repairs
- Management company uses liens, legal notices and court actions in the collection of past due HOA assessments. Homeowners pay all expenses including attorney's fees and court costs. Delinquent HOA assessments reduced 80% since management company took over in 2015.

## Financial Overview -2018



## Reserve Fund Growth:

Reserve fund in 2014

Anticipated reserve fund 2018

\$14,128

\$87,362

- ✓ The expense to repair the retention pond will be covered
  by the reserve fund
- ✓ Even with the repair to the retention pond, we should end 2018 with a positive reserve fund

## 2018 Budget Summary (through September 2018)



Winter Lake Estate	s - 2018 Rudget	Control of the Contro	V
Willter Lake Listate	2018 Budget	YTD Act	<b>y</b> Variance
Income	2010 2010 300		
Annual Dues	\$68,850	\$67,323	(\$1,527)
Special Assessments	\$0	\$0	\$0
Legal & Costs Recovered	\$0	\$0	\$0
Recording & Releasing	\$0	\$55	\$0
Deliquent Dues	\$2,000	\$450	(\$1,550)
Interest	\$250	\$211	(\$39)
Total Income	\$71,100	\$68,039	(\$3,116)
<u>Expenses</u>			
Landscaping	\$12,000	\$8,085	(\$3,916)
Professional Fees	\$1,200	\$243	(\$957)
Insurance	\$1,351	\$984	(\$367)
Office Supplies	\$332	\$72	(\$260)
Postage	\$92	\$76	(\$16)
Snow Removal	\$12,500	\$2,250	(\$10,250)
Utility	\$7,624	\$5,347	(\$1,651)
Maintenance	\$49,121	\$5,605	(\$43,516)
WG Condo Streets	\$927	\$924	(\$3)
WBE Streets	\$5,786	\$5,767	(\$18)
Management Fee -City & Villlage	\$2,844	\$2,719	(\$125)
Contingency	\$0	\$0	\$0
Total Expense	\$93,776	\$32,073	(\$61,078)
Net Profit (+) or Loss (-)	(\$22,676)	\$35,967	\$57,962

# Finance Committee 2018 Long Range Plan

	Winter	Lake	<b>Estates</b>
--	--------	------	----------------

	Winter La	ke Estates	- Long T	erm Plan			
	Previous	2018	2019	2020	2021	2022	2023
	5 YR Average	Budget	Est	Est	Est	Est	Est
<u>Income</u>	(2013-2017)						
Annual Dues / Lot		\$450	\$450	\$500	\$500	\$500	\$500
Lots		156	156	156	156	156	156
Builder Lots or Non Payment		-3	-3	-3	-3	-3	-3
Net Lots Paying		153	153	153	153	153	153
Annual Dues	\$64,666	\$68,850	\$68,850	\$76,500	\$76,500	\$76,500	\$76,500
Special Assessments	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Legal & Costs Recovered	\$1,561						
Recording & Releasing	\$330						
Delinquent Dues	\$6,392	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000
Interest	\$1,943	\$250	\$250	\$250	\$250	\$250	\$250
Total Income	\$74,892	\$71,100	\$71,100	\$78,750	\$78,750	\$78,750	\$78,750
Expenses							
Landscaping	\$13,747	\$12,000	\$12,240	\$12,485	\$12,734	\$12,989	\$13,249
Professional Fees	\$1,287	\$1,200	\$1,224	\$1,248	\$1,273	\$1,299	\$1,325
Insurance	\$1,368	\$1,351	\$1,432	\$1,518	\$1,609	\$1,706	\$1,808
Office Supplies	\$220	\$332	\$339	\$345	\$352	\$359	\$367
Postage	\$164	\$92	\$94	\$96	\$98	\$100	\$102
Snow Removal	\$9,816	\$12,500	\$13,138	\$13,808	\$14,512	\$15,252	\$16,030
Utility	\$7,112	\$7,624	\$8,028	\$8,453	\$8,902	\$9,374	\$9,870
Maintenance (Incl Projects)	\$18,775	\$49,121	\$12,484	\$12,577	\$12,673	\$12,770	\$13,026
WG Condo Streets	\$896	\$927	\$948	\$970	\$993	\$1,016	\$1,039
WBE Streets	\$5,618	\$5,786	\$5,919	\$6,056	\$6,196	\$6,339	\$6,486
Management Fee - Villlage	\$2,911	\$2,844	\$2,844	\$3,150	\$3,150	\$3,150	\$3,150
Contingency (3%)	\$0	\$0	\$1,675	\$1,727	\$1,780	\$1,836	\$1,899
Total Expense	\$61,914	\$93,776	\$60,364	\$62,434	\$64,272	\$66,189	\$68,349
Net Profit (+) or Loss (-)	\$12,978	(\$22,676)	\$10,736	\$16,316	\$14,478	\$12,561	\$10,401
Year End Cash w/ C&V		\$28,719	\$39,455	\$55,771	\$70,249	\$82,810	\$93,211



## **Maintenance Committee**

Jerry Hoffman, Dist 4

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## **Maintenance Committee**

#### **Routine maintenance**

- Lawn and Snow Removal accounts
   for 45% of our annual budget; current contractor Kiefer Lawn & Landscaping
- Snow removal budgeted at \$12,000 per year.
   (Avg spend approx \$8,000 per season)
- Snow removal by WLE for 2018-19
  - Will monitor County performance for other Subdivisions; Determine whether to use Jeff Cosnow removal or continue to use private contractor.

**Dumpsters for Spring cleanup day** 

**Week of April 4-8, 2019** 

- 3rd season of reseeding and fertilization of common ground along WLD and cul du sacs, spring and fall cleanup of leaves, pampas grass, hedges and pear trees
- Pear trees removed from common ground along WLD
- Maintenance of white security fence at rear of WLDr. Remove growth hanging on fence. Scheduled for 11-12 2018.
- Two retention pond and other WLDr benches repaired, and repainted



Street repairs
Lake repairs/maintenance
Common ground landscaping
Tree trimming
Vacant lot maintenance
Entrances (gazebos, signs, etc.)
Fences along common ground
WLD rock wall erosion

Sidewalks along common ground Boulevard median mulch/landscaping

Snow removal

#### **Maintenance Committee**



#### **Future Projects**

- Painting or replacing Gazebos being discussed
- Evaluate Fountain operation: methods and cost control
- Monitor Jefferson County ability to reliably remove snow/salt treatment
- Assess need to remove trees (WLE survey of dead/dying trees)
- Underbrush at along backside of dam.
- Monitor rock walls in subdivision

#### **NEED VOLUNTEERS**

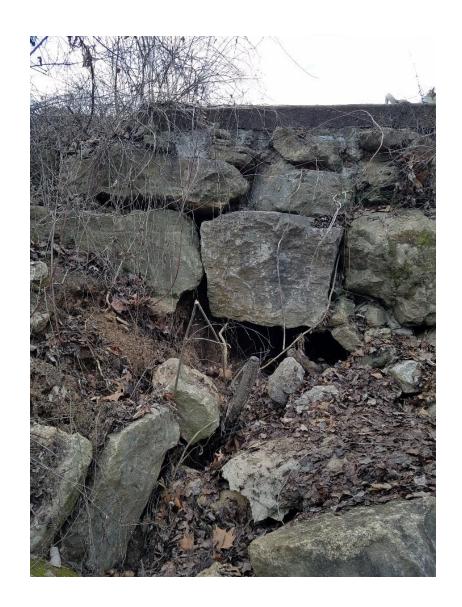
Many thanks to volunteers who have helped: Ken Barker, Volkan Becker (resident engineer); Rosanna Grabow (contract admin);

#### **Retention Basin**

#### **Current issues with Dam**

- Earthen Structure Continuous leaking along outside of concrete outfall pipe. This leak has caused significant erosion under the spillway adjacent to concrete pipe
- *Intake Structure intermittent* leaking during winter, only
- Discharge pipe continuously leaking at joint midway along pipe



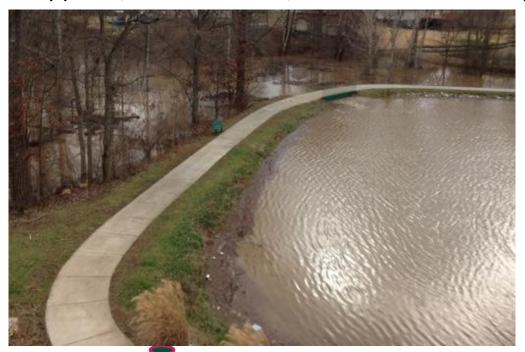


#### **Retention Basin**

#### **Background**



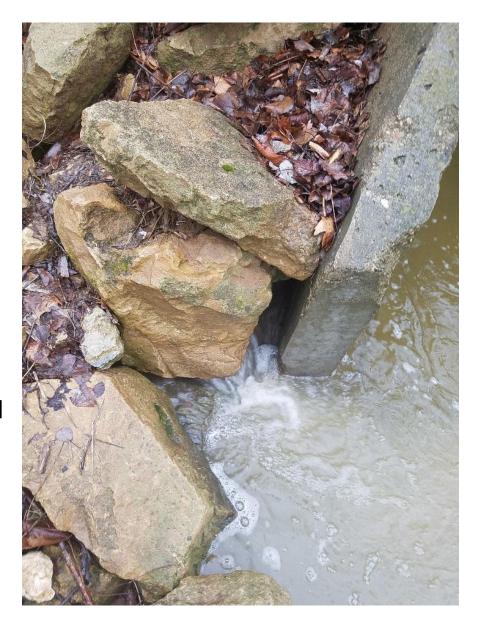
- Leak developed during the past 2 ½ years.
- ACTIONS TAKEN:
  - Dye studies to pinpoint leak.
  - Repair with Bentonite/ Aquablock per contractors' recommendation; also used foam injection and recommendation; leaks stopped
  - Record Meramec Floods of 12/31/15 and May, 2017 reopened leaks
  - Significant additional damage from homeless ground hog; (see photos)
- Fish population lost during floods
- Have visited with numerous contractors with experience in dam repairs
- Interfaced with suppliers, MO Am Water, basin maintenance specialists





## Background (cont'd)

- Retained original design engineer for subdivision to develop solution. Discussed project with 2 other engineers.
- Options considered:
  - Injection Grouting around pipe with sealing outside of intake structure
  - Expose pipe, install a seepage collar, backfill with new material, seal intake structure
  - Remove intake structure and pipe, deposit demo'd material on back side of dam. Rebuild dam with new material and add additional emergency spillway
- Engaged with more than 12 contractors for possible solutions and pricing.



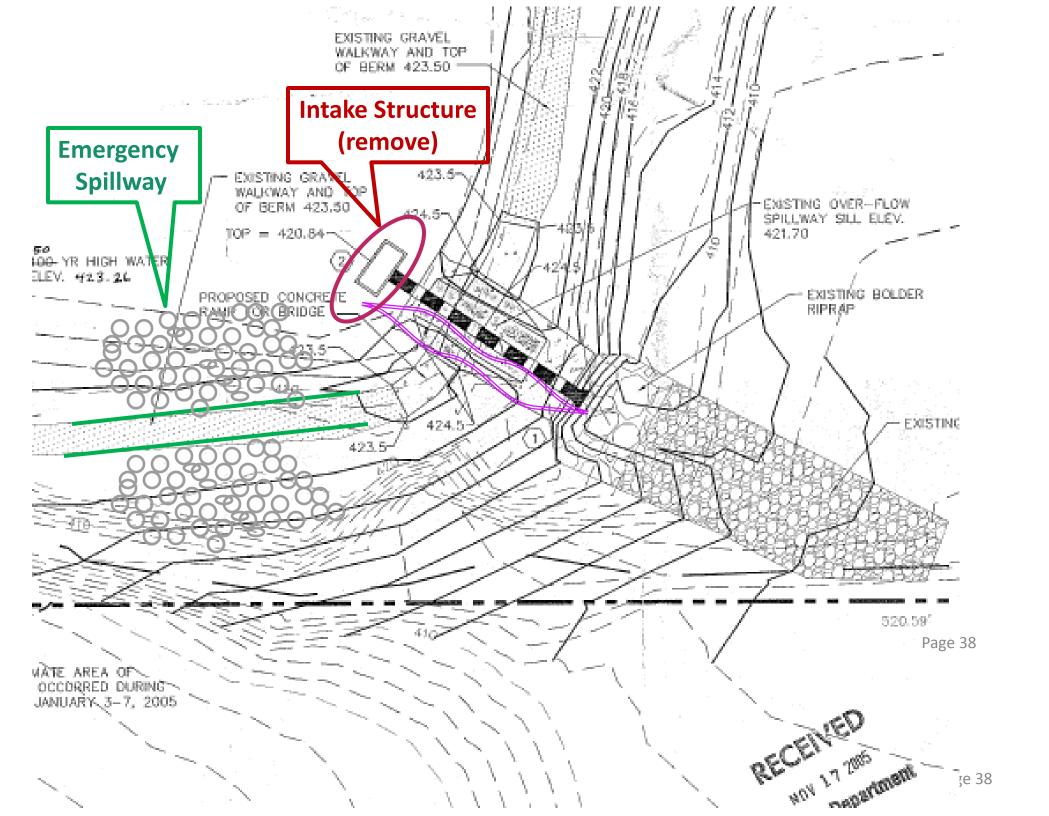
## **Current Proposed Solution**

- Drain the basin to two feet below flowline of pipe which will more than likely drain the whole basin
- 2. Dismantle bridge, set to the side, reinstall when primary spillway complete
- 3. Demo spillway, intake structure, concrete discharge pipe. Break into pieces, use as rip rap on back end of dam
- 4. Replace soil excavated from dam along current pipe location with new material
- 5. Install new spillway in current location
- 6. Reinstall bridge
- 7. Install a depression in the sidewalk west of current dam location to serve as emergency spillway

## **Issues:**

- 1. Diesel pump may run 24/7 to empty lake;
- 2. Empty basin likely to smell
- 3. Basin to be closed 'til completion of project.







TIMELINE		
Item description	Target Date	Due Date
Final Engineered drawings for review		DONE 10/25
Internal Review of Contractor contract	11/2	
Receive revised bid based on final drawings	11/5	
Contract Execution	11/9	
Begin project (pump down)	12/3	
Complete Construction	12/21	
Restock Lake	Spring, 2019 Summer 2019	
Install new fountains	Spring, 2019	



WLE Retention Basin Repair		
<u>Description</u>		<u>Total</u>
Construction (contingent on rebid based on final drawings)	\$	54,500
Dewatering	\$	1,500
Restocking	\$	2,700
	_	
Grand Total	\$	58,700
Optional Work	\$	7,000
- Rip rap around basin		
- Tree removal		
- Additional rip rap on discharge end of spillway		0

## **WLE Fountains**



## • Issue:

- Pump motors failing frequently; likely burning out
  - Motors said to be too "inexpensive" to repair.
- Motors are sump pump motors; not designed for continuous use.
- Leading cause of failure:
  - Continuous use
  - Plugging up
  - Abrasion (ice crystals)

# **WLE Fountains**



WLE COST SUMMARY	(Fountain Motors)

WLL COS	or Summart (Fullital	wiotors)
DATE	ITEM	COST
6/1/2015	Replace pump motor	\$ 690.00
7/21/2016	Replace pump motor	780.00
6/29/2017	Replace pump motor	795.00
5/23/2018	Replace pump motor	750.00
appr 2/1/2018	3 (not yet replaced)	750.00
	5 motors in 3 years	\$ 3,765.00
Average R	eplacement cost per year	\$ 1,255.00
Annual I	Power cost (5/2016-4/2017	\$ 1,083.00
	Total Annual Cost	\$ 2,338.00

## **WLE Fountains**



## **Recommendation:**

- Switch to 2 year warranty pump/motor
- Operate intermittently
  - Recommendations: 12hr on/off; removal for clean-up and storage in winter months (5 months)
  - Reinstall in spring.
- Cost for pumps/motors \$2,500 each, installed.
- Cost to pull, store and re-install:
- Approx \$400 for both pumps

## Response to homeowner questions



#### Q: Re Shangri-La: Are we monitoring water drainage.

A: Yes, according to the Dep Director of Planning & Zoning, that hillside (29acres) will be required to manage run-off. A retention basin will be required for the new subdivision. In fact, we will be invited in to county P&Z offices to review the project BEFORE opening for a public hearing.

#### Q: Our Water Retention Basin communications;

A: Robin has volunteered to keep residents near the Retention basin informed re any current issues. We have email addresses for every home in the area. We will post more general information for entire subdivision once we have a signed contract and agreed upon timeline.

#### Q: Gazebo's update/replacement/repainting.

A: Gazebo maintenance or replacement on hold until 2019; Priority given to urgent retention basin repair.

HOWEVER: The Trustees are recommending the homeowners who are directly impacted by a specific gazebo hold their own discussions and come to a mutual agreement and recommendation for their area. Suggestions could be:

- Repaint and minor repair- one estimate \$1,500 each (no shingles)?
- Remove and replace with concrete benches, picnic table?
- Remove and replace with landscaping?

Because these are on common ground, the cost will be covered by the HOA. However, the cost will need to be reasonable.

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#### Q: Speeding

A: We can send out a notice to residents to watch their speed; beyond that residents should call and report speeding. Sheriff Marshak said in last year's annual meeting that if they know who the speeders are, a deputy can stop by and discuss speeding with those individuals. Residents should report excessive speeding to the sheriff's department. What about UPS, FedEx, and School Buses? Residents are encouraged to make note of the license plate and contact UPS, FedEx, Fox School District directly.

#### Q: Parking on street

A: We would ask that residents make full use of their own parking i.e. in their garages and full use of their driveway. We recognize that it is more convenient for homeowners who have multiple vehicles to park on the street to avoid the inconvenience of moving cars.

CURRENT JeffCo Planning & Zoning standard is 28' minimum width for subdivision streets and NO parking on one side of street. This was NOT the standard when Winter Lake Estates was first approved by Jefferson County. Dan Naunheim, Dep Director, Public Works, has told us that the County will not make changes to any street signage in subdivisions.



# Q: Will there be a reduction in annual assessments related to turning over our street maintenance to Jefferson County.

A: The dues for 2019 will remain at \$450. For the following reasons:

- 1. The Jeff Co Road adoption program will not begin until Spring of 2019.
- 2. While there is no down side to being in the program, we do not yet know how quickly roads will be repaired and whether Jeff Co will follow the same diligence we have over the past few years to road maintenance. We will not let our roads go into dis-repair.
- 3. We are keeping our private snow removal contractor for this winter. We will likely continue this contract as we are very concerned about the timeliness of snow removal & ice treatment since our subdivision, like others in the county, are in the lowest priority. We are not willing to wait for days for removal, nor risk dangerous conditions on our hills.
- 4. We still need to have a reserve fund. Our subdivision is aging, and will continue to need updates. For example, we see deterioration in the rock wall along the WLD curve.

One of our goals for 2019 will be to assess all of these key points as part of our budget impact assessment for 2020 and beyond.



Q: Is Winter Bluff joining the road adoption program, and can we expect a reduction in the annual road dues we pay to them?

**A:** Yes, Winter Bluff was accepted and is joining the program. The Trustees believe we have some opportunity in the indenture wording to amend our annual payment and will address that in 2019 with Winter Bluff and Samarra.

Our indentures do specifically address a reduction in the annual road dues once a second exit is created.



Q: What is the plan for Landscape and maintenance around retention basin? (not basin repair). There seems to be many overgrown areas and lack of annual clean-up.

A: WLE maintains a reduced-frequency lawn service for common ground areas. We budget 25 grass cuttings per year in the lawn portion of the retention basin. To reduce shoreline erosion, we let an approx 4 foot wide section from water's edge to grow. This reduces shoreline erosion. We have budgeted cutting that growth for cutting 5 times per year. In the past the HOA has removed unsafe dead tree limbs. The HOA has never landscaped the retention basin. Recently, the HOA has added seeding and fertilizing grass to common ground areas along our streets. We will continue to provide this service. We are planning no added cosmetic features or improvements beyond what the HOA has performed in the past.

However, the Maintenance Committee is now down to 1 person. Any suggestions for improvement in preparation for the 2019 budget planning processes (December) are welcomed. Along with committee support to help address issues.

Q: Subdivision/Lake Clean-up day has been suggested by a homeowner This would ask volunteers to clean up common ground, common trimming, clean up to help reduce Kiefer cost.

A: This was positively received. Suggestion would be to incorporate this into the annual clean up scheduled for April 4 6 when we bring in yard waste dumpsters.

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## VIII. Close of meeting, 'til next year....

Thank you for your input and support!

If you have any questions, please email us.



WINTER LAKE ESTATES	S - EST	IMATED DAI	M R	EPA	IR CO	STS	
<u>Item</u>	Source	Supplier	Qty	<u>Unit</u>	\$/Unit	<u>Total</u>	
Base Proposal							
Mobilization	Quote	Rich Gullet	1	LS	1,760	1,760	
Access Path Construction	Quote	Rich Gullet	1	LS	1,314	1,314	
Removals	Quote	Rich Gullet	1	LS	5,896	5,896	
- bridge, concrete swale, outfall, pipe							
- demo into 2' pieces							
Clay Installation	Quote	Rich Gullet	1	LS	11,156	11,156	
- 2 ton bentonite							
Concrete Swale	Quote	Rich Gullet	1	LS	6,860	6,860	
- 6" thick slab							
- 1/2" rebar 2' c/c						71	
- 45'x20'							
Replace bridge in kind	Quote	Rich Gullet	1	LS	12,245	12,245	
Seed & straw	Quote	Rich Gullet	/V	LS	2,158	2,158	
				$\rightarrow$	5		\$ 41,389
Required Add-Ons			1				
Permit	Allow	Rich Gullet	\1	LS	500	500	
Balance of Engineering	Allow	Vonarx	1	LS	1,800	1,800	
Additional rip rap at back end	Allow	Rich Gullet	30	CY	35	1,050	
Emerg Remove existing sidewalk	Allow	Rich Gullet	480	sf	6	2,880	
spillw Excavate	Allow	Rich Gullet	10	CY	50	500	
New Sidewalk with extended width	Allow	Rich Gullet	800	sf	8	6,400	
							13,130
				C	Contractor	Total Cost:	54,519
Dewatering							
6" Pump	Quote	Missouri American	1	LS	-	-	
- 25' Suction hose							
- 25 Discharge hose							
- Maintepance							
Suction Hose Rental - 20' section	Quote	K and K supply	1	МО	120	120	
Suction Hose Purchase - 20' section	Quote	K and K supply	1	EA	367	367	
Discharge Hose Rental - 50' section	Quote	K and K supply	2	МО	200	400	
5 gal fuel container	Allow	, , ,	1	EA	60	60	
Diesel fuel - 20 gal/day 2 day, 1 gal/day 10 day	Allow		50	GAL	4	175	
Fountain Removal							1,122
Restocking							
First stocking	Quote	Harrions Fisheries	1	LS	2,100	2,100	
Second Stocking	Quote	Harrions Fisheries	1	LS	600	600	
							2,700
					GRAN	ID TOTAL:	\$ 58,341
Optional Add ons							
Rip rap around lake	Allow	Rich Gullet	200	FT	10	2,000	
Tree removal	Allow	Rich Gullet	5	EA	750	3,750	
Additional rip rap at back end	Allow	Rich Gullet	30	CY	35	1,050	
							\$ 6,800



## **Background**



- Leak developed during the past 2 ½ years.
- ACTIONS TAKEN:
  - Dye studies to pinpoint leak.
  - Repair with Bentonite/ Aquablock per contractors' recommendation; also used foam injection and recommendation; leaks stopped
  - o Record Meramec Floods of 12/31/15 and May, 2017 reopened leaks
  - Significant additional damage from homeless ground hog; (see photos)
- Fish population lost during floods
- Dam requires significant repair:
  - Current approach removal outfall structure and underlying 60" concrete pipe and spillway.
  - Replace with compacted clay;
     bulk of spillway to be rip-rap
  - Spillway contains simple weir (provides for detention)
  - NOTE: second "emergency" spillway may be required
  - Engineer studying hydrology now.
- Have visited with numerous contractors (most lack experience)
- Interfaced with suppliers, MO Am Water, basin maintenance specialists



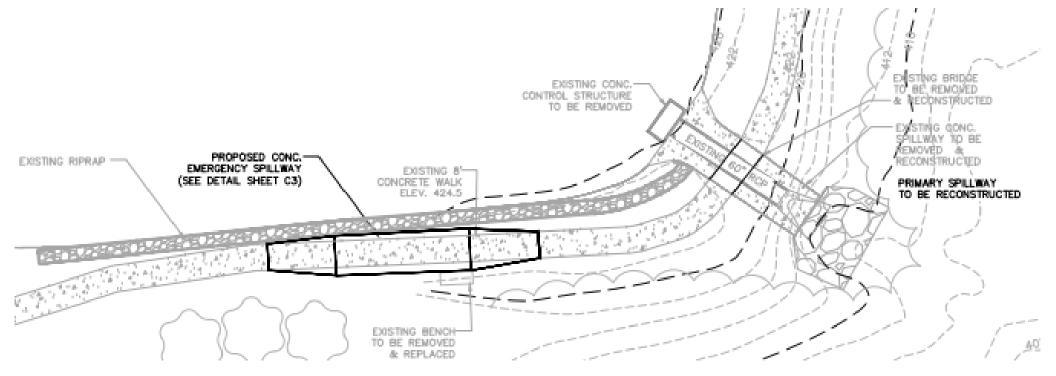
## **Current Proposed Solution**

- Drain the lake to two feet below springline of pipe which will more than likely drain the whole lake
- 2. Dismantle bridge, set to the side, reinstall when primary spillway complete
- 3. Demo spillway, intake structure, concrete discharge pipe. Break into pieces, use as rip rap on back end of dam project.

- 4. Replace soil excavated from dam along current pipe location with new material.
- 5. Install new spillway in current location.
- 6. Reinstall bridge
- 7. Install a depression in the sidewalk west of current dam location to serve as emergency spillway

#### **Issues:**

- 1. Diesel pump may run 24/7 to empty lake;
- 2. Empty basin likely to smell
- 3. Basin to be closed 'til completion of project.



2018 Annual Marching YELLOW cell: have homeowner see a Trustee

WINTER LAKE ESTATES

District

Alfording 11 eb 52 attenders

Last Name	First	Stree	Attended Street Name	Dist	Home Phone	Cell Phone	Work Phone	<u>Email</u>
Last Name	name	<u>t No</u>		1				
Green	Jared	1093	Winter Lake Dr	1	400年,中国1600	(573) 225-3332		jgreen3@live.maryville.edu
Markhart	AND DESCRIPTION OF THE PERSON	1093	Winter Lake Dr	1		(573) 275-1111		dsmarkhart@gmail.com
Volff	The transfer of the second		Winter Lake Dr	1		(314) 188-6484	and the same of th	carrie.wolff@yahoo.com
Volff		1094	Winter Lake Dr	1		(314) 503-8146		steve.wolff81@yahoo.com
iannas	Angela		Winter Lake Dr	1		(314) 489-2930		angelaGiannas@gmail.com
Siannas			Winter Lake Dr	1		(314) 680-4727		EmmanuelGiannas@gmail.com
arker	Kenneth		Winter Lake Dr	1	(636) 305-9945	(314) 596-8237		paraffindr@aol.com
arker	Paulette	the last transfer	Winter Lake Dr	1		(314) 374-4127		paulettejgb@aol.com
ernandez	Jeanne		Winter Lake Dr	1	(636) 600-0508	(314) 304-9119		jeannetini@gmail.com
Cilianacz			Winter Lake Dr	1				
auer	Judy		Winter Lake Dr	1		Ž		judy.jauer@gmail.com
auer	Ray		Winter Lake Dr	1		(636) 305-3381	######	rjauer@sbcglobal.net
<del>larens</del>	Carol		Winter Lake Dr	1		(314) 570 6703		narenssr4444@att.net
VOLCHO			Winter Lake Dr	1				
rost	Charis		Winter Lake Dr	1	Maring the Square	(314) 623-9887		charis5353@gmail.com
rost	Joseph		Winter Lake Dr	1		(314) 578-4327		joetrost7@yahoo.com
Mathews	April		Winter Lake Dr	1				
Mathews	Brendan		Winter Lake Dr	1		(434) 962-9783		brendan.mathews@gmail.com
Culjak	Amela		Winter Lake Dr	1				
Culjak	Jerko		Winter Lake Dr	1	(636) 326-9095			luka1998@att.net
The state of the s	Diana		Winter Lake Dr	1		(636) 349-2272		dianaleszcz@gmail.com
eszcz	James		Winter Lake Dr	1				of the section of the
Leszcz Fatum	Katrina		Winter Lake Dr	1	(636) 326-6313	(314) 677-0728		Katrinatatum@hotmail.com
latum	Katilla		Winter Lake Dr	1				THE RESERVE THE PROPERTY AND ADDRESS OF THE PARTY AND ADDRESS OF THE PA
Stamm	Kathleen		Winter Lake Dr	1		(314) 724-6836		thetwobrats@gmail.com
THE RESIDENCE OF THE PROPERTY OF THE	CONTRACTOR STATE		Winter Lake Dr	1				
The state of	David		Winter Lake Dr	1	(636) 600-0649	58000 09 000 1000 00 1000		Charter, ne
Paulas 2	Tonya		Winter Lake Dr	1		(314) 322-7916		tbpaulus@msn.com
Paulas Dierkes	Susan		Winter Lake Dr	1		(314) 640-5935		wldishome59@gmail.com
Dierkes	Susaii		Winter Lake Dr	1	KATHAMBER BERKER BE	County of State St		•
Inhana	tody Ann		Winter Lake Dr	1	(636) 600 0027	(314) 482 6382		sanguine13@yahoo.com
Johans	JOGY MILL		Winter Lake Dr	1	1			
Debinson	Dennis		Winter Lake Dr	1		(636) 288-8701	#####	# dennis-robinson@att.net
Robinson	Janet		Winter Lake Dr	1		(573) 659-3354	#####	# trouter@netzero.net
Robinson	Allen		6 Winter Lake Dr	1	(636) 326-2288	(573) 659-3354		ekodoyce@swbell.net
Haines	Jennifer		6 Winter Lake Dr	1		(314) 368-9084		
Haines			9 Winter Lake Dr	1	(636) 326-1172	(314) 560-0821		amymkalal@gmail.com
Kalal	Amy		9 Winter Lake Dr	1		(314) 974-7667		kalalej@gmail.com
Kalal	CHO STORING CONTRACTOR		Winter Lake Dr	Participation of the Participa		(314) 324-1839		cchickering2002@yahoo.com
Chickering	de contrata de la contrata del contrata de la contrata del contrata de la contrata del la contrata de la contrata del la contrata de la contr	11.7	0 Winter Lake Dr			(314) 265-6294	#####	# chickering.r@gmail.com
Chickering	Philipping and the second second second second		4 Winter Lake Dr	SPECIAL SERVICES	The second of the second	314 288 5103		jeffbgoofy@charter.net
White	Jeff		4 Winter Lake Dr 4 Winter Lake Dr					lisrael@slu.edu C
White	tyng Lyr	The same of the sa	5 Winter Lake Dr					
Tucker	Vacant		5 Winter Lake Dr 5 Winter Lake Dr	SOMEON PROPERTY.	(N) SWETHERN MICE AND THE STATE OF THE STATE	consiste and area has followed and are		
		113	5 Willter Lake Dr	_	State of the second			
Chi	Adam	112	8 Winter Lake Dr	1		(314) 304-7452		adam.chierek@hotmail.com
Chierek	Adam		8 Winter Lake Dr 8 Winter Lake Dr		NAME OF TAXABLE PARTY OF TAXABLE PARTY.	10-11-11-11		jchierek@gmail.com
Chierek	Jenny		9 Winter Lake Dr			(314) 249-8389		angela.schmidt310@gmail.co
Wilke	Angela	A same area la misma.	9 Winter Lake Dr		produces a commence and a commence of the control o	(314) 608-9841		kevwilke06@hotmail.com
Wilke	Kevin	113	J WILLEL LAKE DI	1000 BOS ST				AND THE RESIDENCE OF THE PARTY

YELLOW cell: have homeowner see a Trustee

District



Last Name	First name	Stree t No	Street Name	<u>Dist</u> <u>1</u>	Home Phone	Cell Phone	Work Phone	<u>Email</u>
Fiscella	Theresa	1142	Winter Lake Dr	1		(703) 867-3039		tfiscell1@verizon.com
Kerry	Kevin		Winter Lake Dr Winter Lake Dr	1		(3147) 324-6278		
		1143	Winter Lake Dr	1		(3147) 324 0278	o de la designa	kevin.kerry@sbcglobal.net
Farris	April	1146	Winter Lake Dr	1		(314) 650-9798		farrisfireflies@yahoo.com
Farris	Sheldon	1146	Winter Lake Dr	1		(314) 650-1038		idi i i sin e ine swyanoo.com
Cave	Jennifer	1147	Winter Lake Dr	1			designation of the	
Cave	Michael	1147	Winter Lake Dr	1		(314) 246-0429		cavemanmac@me.com
Jones	Terry		Winter Lake Dr Winter Lake Dr	1		(314) 757-0435		terry.jonetl@gmail.com
Mujkanovic	Hamida	1151	Winter Lake Dr	1		(314) 620-4424	rike kati	mhamidam@yahoo.com
Mujkanovic	Sakib	1151	Winter Lake Dr	1		11/ 222 1127		innamicani@yanoo.com
Ayrapetyan	Ruslan	1154	Winter Lake Dr	1		(314) 288-8337	takan pang	Rmayrap@gmail.com
Ayrapetyan	Zarina	1154	Winter Lake Dr	1		(314) 808-4722		zaruhe@yahoo.com
MANAGEMENT STREET, STR	Daniel	1155	Winter Lake Dr	1		(920) 277-8088		dpaulson1150@gmail.com
Paulson	Brittany	1155	Winter Lake Dr	1				

WLE Address Book 10-1-18

YELLOW cell: have homeowner see a Trustee

District 2

200f 52 attended

Last Name		Stree t No	Street Name	Dist 1	Home Phone	Cell Phone	Work Phone	<u>Email</u>
Schlittler	Jack	1053	Winter Lake Dr	2		(636) 326-1474		
ATAM SERVICE AND AND ADDRESS OF THE PARTY OF	Mary	1053	Winter Lake Dr	2		(636) 326-1474	NEWSCOCKE BOXES	maryschlittler@att.net
The second secon		1054	Winter Lake Dr	2	(636) 600-0459	(314) 302-2624		grogowski@charter.net
Rogowski		1054	Winter Lake Dr	2	Berlin Grand States			k rogowski@hotmail.com
Dang		1057	Winter Lake Dr	2		(787) 929-1646		phnmtriet@yahoo.com
		1057	Winter Lake Dr	2				
Baran	Chester	1058	Winter Lake Dr	2		(636) 326-5512		cpbaran@gmail.com
Baran	Mary	1058	Winter Lake Dr	2				
Spurgeon	Aaron	1061	Winter Lake Dr	2		(636) 584-3677	and the second second	imgoodman11@gmail.com
Spurgeon	Jordan	1061	Winter Lake Dr	2				
Karau	Betty		Winter Lake Dr	2		(314) 374-4184		bkkarau68@hotmail.com
Karau	Keith		Winter Lake Dr	2		(314) 374-4183		keith.karau@gmail.com
Jianlou	Jia		Winter Lake Dr	2				
Yue	Yimei		Winter Lake Dr	2	1.	(314) 717-7768		<u>yimeiyue@gmail.com</u>
Marx	Jeff		Winter Lake Dr	2		(314) 422-2254		jeff.marx@bmwautohaus.com
	Marion		Winter Lake Dr	2		(314) 952-5871		marion.marx@hmwautohaus.com
Becker	Volkan		Winter Lake Dr	2		(314) 566-2211		volkanstl@outlook.com
-	Lisa		Winter Lake Dr	2		(314) 368-0030		lmontano01@hotmail.com
Montano	and the second second second second		Winter Lake Dr	2		(636) 305-6458		dbjb123@sbcglobal.net
Bowerson	Dennis		Winter Lake Dr	2		(314) 852-8703		
XBowerson	Judith		Winter Lake Dr	2		(314) 707-2802		mlwhisler@sbcglobal.net
Whisler	Lisa		Winter Lake Dr	2		(314) 346-0624		mlwhisler@sbcglobal.net
Whisler	Mike		Winter Lake Dr	2		(314) 814-2998		
DeSuza	Andrew		1000 BPN AND ADDRESS AND ADDRE	2		(314) 814-3371		antonelladesuza@yahoo.com
DeSuza	Antonella		Winter Lake Dr	2	(636) 305-3477			dhmorhaus@aol.com
Morhaus	David		Winter Lake Dr		(030) 303-3477	(314) 307-3579		mtm001@charter.net
Morhaus	Mary		Winter Lake Dr	2	(636) 600-0071	(314) 303-5022		kml112@sbcglobal.net
Ledbetter	Karen		Winter Lake Dr	2	(636) 600-0071	(314) 303-3022		
4			Winter Lake Dr	2		(314) 413-1389		amb 900@hotmail.com
Briesacher	Aaron	STATE OF STREET OF STREET	Winter Lake Dr	2		(514) 415-1505		
Briesacher	Jules	1090	Winter Lake Dr	2		(214) 412 6201		j.c.pascua@sbcglobal.net
Pascua	Jerome (C	1 2	Winter Pond Dr	2		(314) 412-6301		.c.pascuale soci, obalinos
	- I - I - I - I - I - I - I - I - I - I	2	Winter Pond Dr	BANKS TO LEASE OF	erroren	(244) 224 0252		entral designation of the second second
Chamberla	ir Nicole	3	Winter Pond Dr	PARESTANCE SCHOOL STORE OF		(314) 324-9352		pikull@yahoo.com
Pikul	Jason	3	Winter Pond Dr	NAME OF TAXABLE PARTY.		(314) 757-5443	week a second	john ruzicka@hotmail.com
Ruzicka	John	7	Winter Pond Dr	CHICALISM STREET		(314) 306-1622		John Fuzicka@Hotthan.com
Ruzicka	Stacey	7	Winter Pond Dr	2		(314) 306-0143		0447@L-4
Arthur	Christina	8	Winter Pond Dr	2		(417) 263-0433		ccr0417@hotmail.com
Arthur	Richard	8	Winter Pond Dr	2		(314) 397-0777		rarthur@dukemfg.com
Freshley	Jessica	11	Winter Pond Dr	2		(314) 657-8357		jessicaFreshley@gmail.com
Freshley	Ryan	11	Winter Pond Dr	2		(314) 596-1957		freshley@me.com
Ślama	Lindsey	15	Winter Pond Dr	2		(314) 580-0504		Inzymichelle@gmail.com
Slama	Stephen	15	Winter Pond Di	2		(314) 583-0250		srslama@gmail.com
Lewis	John	16	Winter Pond Di			(3148) 835-7136		jplewis8@charter.net
Lewis	Sara	16	Winter Pond Di	Spirit service	Control of the Contro			
Puccio	Victor	19	Winter Pond D	circumstance and the	NAMES AND A PROPERTY OF PROPERTY AND A STATE OF THE PROPERTY O	(314) 347-2578		victorpuccio@comporium.net
Puccio	Trudy	19	Winter Pond D	Ch. 200 communication de communication de la c	Mileston and a few management of the second	(856) 912-0049		trudie0927@comporium.net
Hawkins	Kimberly	23	Winter Pond D			(314) 221-7330		kim.hawkins@edwardjones.cor
Hawkins	Ryan	23	Winter Pond D	DESCRIPTION OF STREET	Notice to the second se	(314) 221-7010		
	DAY CHILL	20	AATTICOL LOUIS D	****		314-614-808	NAME AND ADDRESS OF THE OWNER,	danielle vidal Qicl

YELLOW cell: have homeowner see a Trustee

District

Last Name	First name	Stree t No	Street Name	Dist 1	Home Phone	Cell Phone	Work Phone	<u>Email</u>
Johnson	Jeramey	27	Winter Pond Dr	2		(636) 346-1835		jerameyj@hotmail.com
Kitchell	Robin	30	Winter Pond Dr	2		(314) 913-1486		rkitchel@slu.edu
Barbeau	Josh	31	Winter Pond Dr	2		(314) 471-9601		joshbarbeau@gmail.com
Barbeau	Kelly	31	Winter Pond Dr	2		(314) 686-9712		kellycbarbeau@gmail.com
Mujic	Demal	34	Winter Pond Dr	2				mdemalm@gmail.com
Mujic	Mersiha	34	Winter Pond Dr	2			Hope and	macmanne gman.com
Appling	Rionasis	35	Winter Pond Dr	2		(314) 737-0900	italia irate	rionasis@yahoo.com
Appling	Shaquila	35	Winter Pond Dr	2		(314) 471-1803		mychefkiki@gmail.com
Leon	Michele	38	Winter Pond Dr	2			directorie	Tryenerkiki@gman.com
Leon	Rafael	38	Winter Pond Dr	2		(636) 326-4907		emilou 13@hotmail.com
Zarachoff	Danny	39	Winter Pond Dr	2		(818) 919-8705		kingpilot87@yahoo.com
Zarachoff	Eline	39	Winter Pond Dr	2		(818) 571-5935		eapickle@yahoo.com

WLE Address Book 10-1-18 Page 4 of 10

YELLOW cell: have homeowner see a Trustee

District Work Dist **First** Stree **Cell Phone Home Phone Street Name Last Name Phone** 1 name t No ##### imcclenahan@hunter.com (314) 973-0260 (636) 600-0704 Winter Lake Dr 3 McClenahan James ###### lynnmc309@gmail.com (314) 267-1930 (636) 600-0704 3 954 Winter Lake Dr McClenahan Lynn ##### kdl0957@gmail.com (314) 602-4862 3 Winter Lake Dr Longworth Kurt 958 sue.longworth@yahoo.com (314) 623-3632 Winter Lake Dr 3 Sue (Chery 958 Longworth GrabowRET@sbcglobal.net (636) 343-6299 3 Winter Lake Dr Louis 962 Grabow Grabow6@sbcglobal.net (314) 974-5106 Winter Lake Dr (636) 343-6299 962 Rosanna Grabow ydner1@gmail.com (314) 681-4559 (636) 600-0216 963 Winter Lake Dr Weidner Justin Winter Lake Dr (636) 600-0216 963 Weidner Teresa (636) 343-0599 Winter Lake Dr 966 Hautley Catherine Rhautly@hotmail.com 3 (636) 343-0599 966 Winter Lake Dr Rudolph Hautley elvirapilipovic@gmail.com (314) 269-6492 3 Winter Lake Dr 967 **Pilopovic** Elvira jakuppilipovic@gmail.com (314) 269-6491 3 967 Winter Lake Dr Jakup **Pilopovic** (314) 769-3386 3 Winter Lake Dr Kalina 970 Mendyka (314) 769-3385 3 970 Winter Lake Dr Mendyka Kazimerz (314) 686-9825 3 Winter Lake Dr Husic 971 Aida amir-husic@hotmail.com (314) 596-6140 Winter Lake Dr Amir 971 Husic ELeue@ballhort.com (630) 291-4522 3 974 Winter Lake Dr Ellen Leue Winter Lake Dr 3 974 (314) 704-3899 citydick@hotmail.com 3 Winter Lake Dr 978 Jason Steurer lisjay@sbcglobal.net (314) 608-2249 978 Winter Lake Dr Steurer Lisa pkrupski1@yahoo.com (317) 840-3202 982 Winter Lake Dr 3 Philip Krupski krupskiindy@sbcglobal.net (317) 373-8106 3 Winter Lake Dr 982 Krupski Maridee (636) 717-0879 (636) 575-2213 Winter Lake Dr David 986 Kelley bkelley1103@gmail.com (636) 575-2213 Winter Lake Dr 3 986 Elizabeth Kelley rachelghana@yahoo.com (207) 228-4802 3 Winter Lake Dr Rachel 990 Speed 3 990 Winter Lake Dr refleming05@yahoo.com (314) 885-4488 3 994 Winter Lake Dr **Fleming** Ryan cam 7572@yahoo.com (314) 714-8027 3 994 Winter Lake Dr Cami **Fleming** robynbrailey@aol.com (636) 600-0329 (860) 848-2433 Winter Lake Dr 998 Brailey Robyn (860) 861-2229 sbrb80@aol.com 3 (636) 600-0329 998 Winter Lake Dr Scott Brailey aanikasma@yahoo.com (314) 330-8365 3 1002 Winter Lake Dr Cecilia Sprecher KEVINTSPRECHER@GMAIL.COM (314) 698-7994 3 1002 Winter Lake Dr Sprecher Kevin baldwindoria@yahoo.com (314) 698-7794 (636) 600-1201 1006 Winter Lake Dr 3 Doria Baldwin 3 (636) 600-1201 Michael 1006 Winter Lake Dr Baldwin whatelizabethwants@gmail.com (314) 202-2828 3 1010 Winter Lake Dr Elizabeth Reily seamus713@gmail.com (314) 479-4537 (636) 678-7600 3 Michael 1010 Winter Lake Dr Reily nicholas.gruver@gmail.com (618) 709-6209 3 1023 Winter Lake Dr Nick Gruver 3 1023 Winter Lake Dr karensimon@hotmail.com (812) 431-3494 3 1024 Winter Lake Dr Karen Simon trever.simon@us.abb.com (314) 306-8122 3 1024 Winter Lake Dr Simon Trever insserbousek@gmail.com (314) 435-7303 1027 Winter Lake Dr 3 Serbousek Jill saserbousek@gmail.com 3 (314) 607-7233 1027 Winter Lake Dr Serbousek Scott womblekevin@gmail.com (314) 256-7050 Kevin(son) 1028 Winter Lake Dr 3 Womble womblesandy@gmail.com 3 (314) 347-8839 1028 Winter Lake Dr Sandra Womble (314) 932=5017 704-0369 Burtelow Elizabeth 1032 Winter Lake Dr 3 burtelows@hotmail.com (314) 704-0369 3 (314) 657-8014 Robert 1032 Winter Lake Dr Burtelow cjhutson2004@hotmail.com 1033 Winter Lake Dr 3 (636) 305-1982 Chris Hutson (636) 305-1982 3 1033 Winter Lake Dr Joseph Hutson

10/23/2018 Page 5 of 10 WLE Address Book 10-1-18

3

1036 Winter Lake Dr

Jennifer

Hatton

(314) 606-3662

YELLOW cell: have homeowner see a Trustee

District \_\_\_\_

<u>Last Name</u>	<u>First</u> <u>name</u>	Stree t No	Street Name	Dist 1	Home Phone	Cell Phone	Work Phone Email
Hatton	Joseph	1036	Winter Lake Dr	3		(314) 606-3661	Joseph hatton@yahoo.com
Tabernik	Brea	1037	Winter Lake Dr	3		(314) 494-0271	breanscott@yahoo.com
Tabernik	Paul	1037	Winter Lake Dr	3		(314) 494-0372	paul.tabernik@gmail.com
Maddock	Scott	1040	Winter Lake Dr	3		(314) 477-6927	smmaddockrn@yahoo.com
		1040	Winter Lake Dr	3			garage with Caracas and Caraca
Bielicke	James	1041	Winter Lake Dr	3	(636) 717-6552		bielicke04@gmail.com
Bielicke	Shannon	1041	Winter Lake Dr	3	(636) 717-6552	(314) 482-0094	stinkyangrykid@yahoo.com
Bowen	Steven	1044	Winter Lake Dr	3	(636) 326-6362		<u> </u>
Reichardt	Robin	1044	Winter Lake Dr	3	(636) 326-4562	(314) 413-4928	robinreichardt@sbcglobal.net
Schaefer	Craig	1045	Winter Lake Dr	3		(618) 534-4718	craigschaefer45@gmail.com
Schaefer	Danette	1045	Winter Lake Dr	3			s. a.g. a.i.a.i.i. 13 (a.g. maii.com
Leary	Angie	1049	Winter Lake Dr	3		(636) 236-3271	
Leary	Kevin	1049	Winter Lake Dr	3		(636) 675-1392	kevinpleary14@gmail.com
VanHoecke	Beth	1050	Winter Lake Dr	3		(314) 306-0603	A STATE OF THE STA
VanHoecke	Brian	1050	Winter Lake Dr	3		(314) 910-0051	BrianVanhoecke@yahoo.com

WLE Address Book 10-1-18 Page 6 of 10

YELLOW cell: have homeowner see a Trustee

District 4 8 of 52 attendees

Work Work Email

Le	Last Name	First name	Stree t No	Street Name	Dist 1	Home Phone	Call Phone	Work Phone	<u>Email</u>
	Toombs	Donna	905	Winter Brook Dr	4		(618) 616-2114		The state of the s
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Schneider   909   Winter Brook Dr   4   (314) 496-8195   nikkicr@wyahoo.com   Schneider   313   Winter Brook Dr   4   (913) 575-9313   lulillansen1221@yahoo.com   4   (969) 688-7821   khoahunhik@yahoo.com   4   (960) 688-782   khoahunhik@yahoo.com   4   (960) 6	THE R. LEWIS CO., LANSING MICH. CO., LANSING MICHIGAN PRINCIPAL PR		PANEL MANAGEMENT	DE SYNDEN EN PROPERTIE EN PROPERTIE EN PRESENTATION DE L'ANNE PAR L'ANNE PAR L'ANNE DE L'ANNE DE L'ANNE DE L'A	4				A CAMPANAN AND A PROPERTY OF THE PROPERTY OF T
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Schneider   Jason   913   Winter Brook Dr   4   (314) 221-4906	100 Compactoring Company Association Company	PROSESSOR AND STATEMENT OF THE STATEMENT	SCHOOL STREET	AND THE RESIDENCE AND ADDRESS OF THE PROPERTY	4		(913) 575-9313		
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Huynh   Danny   400   Winter Lake Cir   4   (469) 688-7821   kheahunhik@ahoo.com   cherie   401   Winter Lake Cir   4   (314) 808-008   mark@ionescreative.com   mark@ion	Consumption of the Consumption o	Charles and the State of State	DATE OF THE PROPERTY OF THE PR	Contraction of the second seco	4		(469) 432-4343	200	
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Peters   David   404   Winter Lake Cir   4   (314) 753-3213   dave peters3805@att.net	V	non manifestation and relative and relative and relative	CONTRACTOR DESCRIPTION OF THE PERSON OF THE	na dina nakaka pengangan pengangan pengangan kanangan kanangan kanangan kanangan kanangan kanangan kanangan ka		100 m	(314) 808-0208		mark@jonescreative.com
Peters   Donna   404   Winter Lake Cir   4   (314) 724-8098   Rosenberg   Kristie   405   Winter Lake Cir   4   (334) 596-6480   Rosenberg   Edita   408   Winter Lake Cir   4   (314) 680-4070   EditaPilipovic   Edita   408   Winter Lake Cir   4   (314) 680-3878   Rosenberg   Rosenberg   Edita   408   Winter Lake Cir   4   (314) 680-3878   Rosenberg   Rosenberg   Edita   408   Winter Lake Cir   4   (314) 680-3878   Rosenberg   Rosenberg   Rosenberg   Rosenberg   Edita   408   Winter Lake Cir   4   (314) 680-3878   Rosenberg   R	* Constitution of the cons	Medical services and an experience of the services of the serv	SHORISON SHOWS	CONTRACTOR OF STREET, SAME AND STREET, SAME	and the second second	All the last of the last	(314) 753-3213		dave peters3805@att.net
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Pilipovic   Edita   408   Winter Lake Cir   4   (314) 680-4070   EditaPilipovic@hotmail.cs	CONTRACTOR CONTRACTOR CONTRACTOR	and the second s	racional de la constante de la	and the second second second second second			(314) 596-6480		
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Jockish   Deanne   414   Winter Lake Cir   4   (636) 343-8042   jockish8@gmail.com   Jockish   Michael   414   Winter Lake Cir   4   (314) 707-4191   jockish8@gmail.com   Dugan   Brian   417   Winter Lake Cir   4   (314) 346-0408   briandugan57@gmail.com   Dugan   Jovita   417   Winter Lake Cir   4   (314) 346-1502   Carroll   Greg   418   Winter Lake Cir   4   (817) 602-5107   gkmi2936@msn.com   dave.blattner@gmail.com   dave.b	A	Parking and a second se		DESTRUCTION OF THE PROPERTY OF					
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Hart Robert 926 Winter Lake Dr 4 (314) 620-5174 bob hart@scottleeheat Urschler Daniel 930 Winter Lake Dr 4 (314) 323-6139 dt urschler@att.net  Urschler Tracy 930 Winter Lake Dr 4  Blattner Gregory 934 Winter Lake Dr 4 (314) 359-4898 gtblattner@sbcglobal.n  Blattner Tara 934 Winter Lake Dr 4 (314) 359-4898 gtblattner@sbcglobal.n  Datillo Andrew 938 Winter Lake Dr 4 3142259954 datillo6429@gmail.com  Datillo Kristin 938 Winter Lake Dr 4 (314) 372-7472 agent64506@yahoo.co  Lockhart Harry 942 Winter Lake Dr 4 (518) 281-3717  Crump Dawn 946 Winter Lake Dr 4 (573) 201-9810 dolfundawn@att.net  Purington Tammy 950 Winter Lake Dr 4 (314) 855-7939 w.l.parker@att.net  Purington William 950 Winter Lake Dr 4 (314) 952-4243 ###### tpuringt@yahoo.com	220000000000000000000000000000000000000		LONG THE RESIDENCE OF THE PERSON NAMED IN	and the second s	SCHOOL STREET				
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Urschler Tracy 930 Winter Lake Dr 4  Blattner Gregory 934 Winter Lake Dr 4  Blattner Tara 934 Winter Lake Dr 4  Datillo Andrew 938 Winter Lake Dr 4  Lockhart Harry 942 Winter Lake Dr 4  Lockhart Laura 942 Winter Lake Dr 4  Crump Dawn 946 Winter Lake Dr 4  Crump Dawn 946 Winter Lake Dr 4  Purington Tammy 950 Winter Lake Dr 4  Purington William 950 Winter Lake Dr 4  Purington William 950 Winter Lake Dr 4  (314) 372-7472 agent64506@yahoo.co  (518) 281-3717  (573) 201-9810 dolfundawn@att.net  w.l.parker@att.net  1314) 352-4243 ###### tpuringt@yahoo.com	THE PROPERTY OF THE PROPERTY O	enconversion based on a value with	AND ALL PROPERTY AND AL	AND THE PROPERTY OF THE PROPER	AND DESCRIPTION OF THE PERSONS ASSESSMENT	er se reger av en	THE RESIDENCE OF THE PARTY OF T		dt urschler@att.net
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Datillo Kristin 938 Winter Lake Dr 4  Lockhart Harry 942 Winter Lake Dr 4  Lockhart Laura 942 Winter Lake Dr 4  Crump Dawn 946 Winter Lake Dr 4  Purington Tammy 950 Winter Lake Dr 4  Purington William 950 Winter Lake Dr 4  (314) 372-7472 agent64506@yahoo.co  (518) 281-3717  (573) 201-9810 dolfundawn@att.net  (314) 835-7939 w.l.parker@att.net  (314) 835-7939 w.l.parker@att.net  (314) 952-4243 ###### tpuringt@yahoo.com	A CONTRACTOR OF THE PROPERTY OF THE PARTY OF	Name and Administration of the Owner, where the Control of the Con	or necessary and the last	ACCORDING NEW YORK OF THE PROPERTY OF THE PARTY OF THE PA	AND DESCRIPTION OF THE PERSON		COMPANY OF THE PROPERTY OF THE		datillo6429@gmail.com
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Cook Shannon 1 Winter River Ct 4 (314) 363-3666 Scoks 364 Hot Hall. Som	THE REPORT OF THE PROPERTY OF	- SANTON BANKS AND SANTON SANT	CONTRACTOR AND ADDRESS OF THE PARTY OF THE P	and the second s	contractors and the state of		(214) 262 5696		scook30@hotmail.com
	Cook	Shannor	1	Winter River Ct	4		(314) 303-3080		SCOOK SOCIAL CONTRACTOR OF THE SECOND

YELLOW cell: have homeowner see a Trustee

District

Last Name	<u>First</u> <u>name</u>	Stree t No	Street Name	Dist 1	Home Phone	Cell Phone	Work Phone	<u>Email</u>
Cook	Stacey	1	Winter River Ct	4		(314) 650-3564		stacey.cook1@yahoo.com
Mack	Alvin "Mac	2	Winter River Ct	4	(636) 326-1997	(314) 503-5050	PERIOR DE VIDENCIA DE LA COMPANIO DE COMP	niami-canes@sbcglobal.net
Mack	Christy	2	Winter River Ct	4	(636) 326-1997		1	marin-caries@spcgiopai.riet
Simmons	Judy	3	Winter River Ct	4	(636) 678-7392			Mary Carlos
Simmons	L.J.	3	Winter River Ct	4	(636) 678-7392		124000000000000000000000000000000000000	udith117simmons@gmail.com
Missey	Andrea	4	Winter River Ct	4	(636) 349-2368	(314) 620-6142		indreamissey@sbcglobal.net
Missey	Darrell	4	Winter River Ct	4	(636) 349-2368	(314) 852-4781	CACOMICA O DISSO DE CACADA CACADA SA PARA CACADA SA	larrellmissey@sbcglobal.net
Roberts	Jeff	5	Winter River Ct	4		(636) 543-0647		effrey.roberts2@yahoo.com
Roberts	Sarah	5	Winter River Ct	4	A CONTRACTOR OF THE CONTRACTOR	(314) 322-5451		aysrah@yahoo.com
Ferreria	Jose(Henri	6	Winter River Ct	4		(201) 674-1648		enrique1956@sapo.pt
Ferreria	Maria	6	Winter River Ct	4	(636) 326-4608	(201) 562-0381	rich de la comp	Stringac1990@3apo.pt
Hobbs	Jennifer	7	Winter River Ct	4		density of the second		and the second s
Hobbs	Robert	7	Winter River Ct	4		(618) 791-3062	R	ob6862269@yahoo.com
Ade	Grace	8	Winter River Ct	4	(636) 349-3056		1.0	cskma@aol.com
Ade	Ken	8	Winter River Ct	4	(636) 349-3056		Militar Paras in contame a reco	cskma@aol.com

WLE Address Book 10-1-18 Page 8 of 10

YELLOW cell: have homeowner see a Trustee

District

10 of 52 attendes

Last Name	First name	Stree t No	Street Name	Dist 1	Home Phone	Cell Phone	Work Phone	<u>Email</u>
Schnitker	Brandy	150	Winte Lake Blvd	5	(636) 349-2275	(314) 239-2190		
	Rick	150	Winte Lake Blvd	5	(636) 349-2275			BrandySchnitker@yahoo.com
TO THE OWNER WHEN THE PARTY OF	Chris	101	Winter Lake Blvd	5		(314) 323-7890		cmpstl@live.com
	Helge	101	Winter Lake Blvd	5		(314) 922-5757		attorneyhelge@sbcglobal.net
Continues and constructions	Amy	102	Winter Lake Blvd	5		(314) 374-2594		amycsmithrn@yahoo.com
NAMES OF THE PERSON OF THE PER	Dusty	102	Winter Lake Blvd	5		(314) 749-2913		dustyssmith51@yahoo.com
ETCENTONICESCONO POR CONTROL PROPERTY	Ron	105	Winter Lake Blvd	5	(636) 326-1733	(636) 692-1655		ronaldjameswall@gmail.com
La consequencia escapazada de la	Susan	105	Winter Lake Blvd	5	(636) 326-1733	(636) 692-1657		SusanKWall@gmail.com
Comesana	Ed	106	Winter Lake Blvd	5	May the Back of the	(314) 624-9443		edwin.comesana@dachser.com
Comesana	Maura	106	Winter Lake Blvd	5		(314) 712-8834		comesana3@gmail.com
Zoellner	Pam	109	Winter Lake Blvd	5	***************************************	(314) 799-0009		Patrick@aaazoellner.com
Zoellner	Patrick	109	Winter Lake Blvd	5		(314) 220-8675		Pzoellner@sbcglobal.net
Davis	Ryan	110	Winter Lake Blvd	5		(314) 220-8675		ryanpd423@gmail.com
Davis	Hayley	110	Winter Lake Blvd	5		(314) 708-0099		hmpieper89@yahoo.com
Stumpf	John	114	Winter Lake Blvd	5	(636) 305-0134	(314) 570-8033		
Stumpf	Amy	114	Winter Lake Blvd	5		(636) 305-0134		astumpf75@Att.net
Bausano	Dom	115	Winter Lake Blvd	. 5	(636) 678-7199	(713) 822-5120		dombausano@gmail.com
Bausano	Karen	115	Winter Lake Blvd	Charles becommend	(646) 678-7199	(713) 562-5048		kbausano@gmail.com
Hyatt	Don	118	Winter Lake Blvd			(618) 977-1422		HyattAutomotive@hotmail.com
Hyatt	Lana	118	Winter Lake Blvd	5	The second second	(618) 789-6226		kiliclan.lh@gmail.com
Haffer	Bryan	119	Winter Lake Blvd	5	(636) 349-9966	(636) 209-1801		Bryan.Haffer@sbcglobal.net
Haffer	Jenn	119	Winter Lake Blvd	-	(636) 349-9966	(314) 258-6309		jennifer.haffer13@yahoo.com
McPike	Shawn	122	Winter Lake Blvd	5	(636) 326-1566	(636) 208-2031		ShawnMcPike@gmail.com
Wiel Inc		122	CONTRACTOR OF THE PROPERTY OF	5				
Bailey	Daniel	123	CONTRACTOR AND ADDRESS OF THE PROPERTY OF THE	5		(636) 212-0957		dbaileyIT@gmail.com
Bailey	Kelly	123	CANADA CONTRACTOR CONT	5		(314) 852-5646		btle03@aol.com
Esmerovic	Elvira	126	Winter Lake Blvd	5	(636) 326-2298	The state of the state of		elvedine@att.net
Esmerovic	Hasib	126	Winter Lake Blvd	5	(636) 326-2298		O ANNO AND THOMAS O SEE THE OWNER OF THE	
Lawson	Alan	129	er auf de ser angende de avez de unit de la fait de la f	5	(636) 326-1778	(636) 575-3432		allnlaw@aol.com
Lawson	Linda	129	Winter Lake Blvc	5	(636) 326-1778	(636) 575-3373		
Hanschmid	A CONTRACTOR OF THE PARTY OF TH	130	Winter Lake Blvd	5	(636) 343-5286	(314) 393-7495		amhans@sbcglobal.net
Hanschmid		130	Winter Lake Blvo	5	(636) 343-5286	(314) 393-5529	NAME OF THE OWNERS OF THE OWNER.	
Hanneken		134	Winter Lake Blvd	5		(314) 706-9035		packerfanlyn@icloud.com
		134	The state of the s	1 5				
Robins	Chenoa	135	Winter Lake Blvd	1 5	(636) 326-2119	(501) 733-3315		chenoarrobins@hotmail.com
Robins	Roy	135	MATERIAL DESCRIPTION OF STREET, STREET	d 5	(636) 326-2119	(501) 733-3316		roymrobins@hotmail.com
Luechtefeld	AND DESCRIPTION OF THE PARTY OF	138	Winter Lake Blvd	d 5		(314) 223-9935		kathyluechtefeld@gmail.com
		138	Winter Lake Blve	d 5				
Shih	Yong	139	er en angeleg gran digestat digestat (digestat digestat digestat digestat digestat digestat digestat digestat d	d 5		(314) 452-2081		yongshih621@gmail.com
		139	Percentisment of the Control of the	d 5				
Horton	Kenneth (	k 142	Winter Lake Blv	d 5		(314) 304-3320		khorton82@charter.net
Horton	Patricia (	200 TANK GARAGES	Winter Lake Blv	d 5		(314) 608-6311		
Ishmael	Drew	146	eur machanisme algradas de la colonida del colonida de la colonida de la colonida del colonida de la colonida del colonida de la colonida de la colonida de la colonida del la colonida del colonida de la colonida del colonida d	d 5		(314) 972-4750		a.ishmael@gmail.com
Ishmael	Sarah	146		d 5		(314) 971-5340		ishmaels2008@gmail.com
True	Becky	147	7 Winter Lake Blv	d 5		(636) 212-1451		
True	Chris	147	ever is transported a consequence or in the party of the party.	d 5		(314) 920-5221		christophertrue@sbcglobal.ne
Gillam	Amy	151	\$500 SHOUSE CONTRACTOR STATE CONTRACTOR	CONTRACTOR STATE	1871 4 2 1 1 1	(314) 691-4040	####	## maddiemama03@gmail.com
Gillam	Ruth	153	en majuras en apresentation en processo de l'est	SUGARRESISSION	Carl 2 Space and Salks	(314) 805-3172		regillam@sbcglobal.net
Dougherty	STATE	154	EPITE CONTROL INC. AND ADDRESS OF THE PROPERTY	NAME AND ADDRESS OF THE PARTY O		(314) 805-7157		KDoughe944@aol.com

YELLOW cell: have homeowner see a Trustee

District \_\_\_\_\_

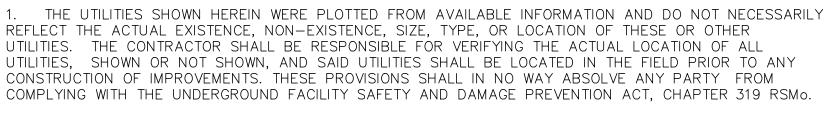
	Last Name	<u>First</u> <u>name</u>	Stree t No	Street Name	Dist 1	Home Phone	Cell Phone	Work Phone Email
V	Dougherty	Nancy	154	Winter Lake Blvd	5		(314) 401-1792	momofbrats@aol.com
	Busch	Dawn	158	Winter Lake Blvd	5	(636) 349-1862	(314) 913-5043	dawnbusch@sbcglobal.net
	Busch	Jeff	158	Winter Lake Blvd	5	(636) 349-1862	(314) 610-8578	buschjr@sbcglobal.net
	Newell	Angie	159	Winter Lake Blvd	5	na di karangan karangan karangan di karangan karangan karangan karangan karangan karangan karangan karangan ka	(636) 751-9972	angiemikenewell@yahoo.com
	Newell	Mike	159	Winter Lake Blvd	5			angiemikenewell@yahoo.com
V	Halladay	Carolyn	163	Winter Lake Blvd	5	(636) 349-9478	(636) 751-9972	
	Halladay	Harry	163	Winter Lake Blvd	5	(636) 349-9478	(000) / 51 35/2	harrycarolynh@yahoo.com
	Gunn	Lena	167	Winter Lake Blvd	5	(,554,6	(314) 440-0160	harrycarolynh@yahoo.com Lena.Gunn1@gmail.com
			167	Winter Lake Blvd	5			

WLE Address Book 10-1-18 Page 10 of 10

# WINTER LAKE ESTATES DAM REPAIR & IMPROVEMENTS

# WINTER LAKE ESTATES 2 BOUNDARY ADJUSTMENT, COMMON GROUND 1B A TRACT OF LAND IN SECTION 2, TOWNSHIP 43 NORTH, RANGE 5 EAST

Fenton, Jefferson County, Missouri



- 2. ALL ELEVATIONS ARE BASED ON U.S.G.S. DATUM.
- 3. ELEVATION CONTOURS PROVIDED BY JEFFERSON COUNTY LIDAR, PROPERTY LINES FROM DESIGN DRAWINGS. PROPERTY SURVEY BY ASSOCIATED LAND SURVEYORS, INC.
- 4. ALL MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF JEFFERSON COUNTY.

5. ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING AS REQUIRED BY THE JEFFERSON COUNTY PUBLIC WORKS DEPT. & MISSOURI DNR.

- 6. PRIOR TO BEGINNING ANY WORK ON THE SITE, THE DEVELOPER SHALL HAVE A PRECONSTRUCTION CONFERENCE WITH THE COUNTY PRIOR TO ANY CLEARING, GRADING, OR INSTALLATION OF IMPROVEMENTS.
- 7. GRADING CONTRACTOR SHALL INSTALL SILTATION CONTROL PRIOR TO STARTING THE GRADING. ADDITIONAL SILTATION CONTROL DEVICES SHALL BE INSTALLED PER THE CITY OF DESOTO.
- 8. ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.
- 9. GRADING CONTRACTOR SHALL KEEP EXISTING ROADWAYS CLEAN OF MUD AND DEBRIS AT ALL TIMES.
- 10. PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON PAVED AREAS.
- 11. NO GRADE SHALL EXCEED 3:1 SLOPE.
- 12. A SEPARATE JEFFERSON COUNTY GRADING PERMIT AND LAND DISTURBANCE PERMIT ARE REQUIRED PRIOR TO ANY GRADING ON THE SITE. THE REQUIRED PERMITS ARE OBTAINED FROM THE COMMUNITY DEVELOPMENT DEPARTMENT. NO CHANGE IN WATERSHEDS SHALL BE PERMITTED.
- 13. INTERIM STORMWATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES ARE REQUIRED.
- 14. THE DEVELOPER IS REQUIRED TO PROVIDE ADEQUATE STORMWATER SYSTEMS IN ACCORDANCE WITH THE CITY OF DESOTO STANDARDS.
- 15. ALL STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT.
- 16. ADEQUATE TEMPORARY OFF—STREET PARKING SHALL BE PROVIDED FOR CONSTRUCTION EMPLOYEES. PARKING ON NON—SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS.
- 17. THE DEVELOPER IS ADVISED THAT UTILITY COMPANIES WILL REQUIRE COMPENSATION FOR RELOCATION OF THEIR UTILITY FACILITIES WITHIN PUBLIC ROAD RIGHT—OF—WAY. UTILITY RELOCATION COST SHALL BE CONSIDERED THE DEVELOPER'S RESPONSIBILITY. THE DEVELOPER SHOULD ALSO BE AWARE OF EXTENSIVE DELAYS IN UTILITY COMPANY RELOCATION AND ADJUSTMENTS. SUCH DELAYS WILL NOT CONSTITUTE A CAUSE TO OCCUPANCY PRIOR TO COMPLETION OF ROAD IMPROVEMENTS.
- 18. THE OWNER SHALL, AT ALL TIMES, CONTAIN MUD AND OTHER SPOILS ON THIS SITE. NO VEHICLE, TRAILER OR CONSTRUCTION EQUIPMENT IS TO DEPOSIT MUD OR ANY OTHER MATERIAL ON PUBLIC STREETS. PROJECT WILL BE STOPPED IF STREETS ARE NOT CLEANED IMMEDIATELY.
- 19. WINTER LAKE DRIVE SHALL BE KEPT OPEN TO TRAFFIC DURING ALL PHASES OF CONSTRUCTION OF IMPROVEMENTS IN THE RIGHT-OF-WAY. NO DRIVING LANES SHALL BE CLOSED WITHOUT PRIOR WRITTEN PERMISSION FROM THE CITY OF FENTON.
- 20. THE CONTRACTOR SHALL FURNISH, MAINTAIN, AND REMOVE TRAFFIC CONTROL DEVICES FOR THE PURPOSE OF REGULATING, WARNING, AND DIRECTING TRAFFIC DURING ALL PHASES OF CONSTRUCTION. ALL FLAGMEN, BARRICADES, WARNING SIGNS, ETC. SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES.



LOCATION MAP

#### **RRREVIATIONS**

N/F	NOW OR FORMERLY	0	FOUND MONUMENTATION
W	WIDE	°C0	CLEAN OUT
DB.	DEED BOOK	$\circ^{EM}$	ELECTRIC METER
PB.	PLAT BOOK	$\leftarrow$	GUY WIRE
PG.	PAGE	-O-UP	UTILITY POLE
CONC.	CONCRETE	□TB	TELEPHONE BOX/PEDESTAL
SAN.	SANITARY		SIGN
MH	MANHOLE	MB	MAILBOX
R	RADIUS	•	BENCHMARK
L	LENGTH	— OE —	OVERHEAD ELECTRIC
D	DELTA		FIBER OPTIC LINE
TBR	TO BE REMOVED		
TBR&R	TO BE REMOVED & REPLACED	— BT —	
UIP	TO BE USED IN PLACE	₹ <u>``</u> }	BUSH
D.S.	ROOF DOWNSPOUT	SIZE +	DECIDUOUS TREE
w/	WITH	GV 	GAS VALVE
EX./EXIST.	EXISTING		
E.O.P.	EDGE OF PAVEMENT		= SANITARY SEWER - STORM SEWER

**LEGEND** 

## SITE DATA

PROPERTY OWNER: WINTER LAKE ESTATES POA EXISTING ZONING: R7

SITE AREA: 10.23 AC.

PARCEL NUMBER: 02-1.0-02.0-4-001-001.151

#### SERVICE DISTRICTS

SCHOOL DISTRICT: FOX C6 SCHOOL DISTRICT

400 13th ST. FENTON, MO 63026 636.343.7662

FIRE DISTRICT: SALINE VALLEY
1771 SPRINGDALE BLVD.
FENTON, MO 63026

AMBULANCE: ROCK TOWNSHIP
6707 ST. LUKE'S CHURCH RD.

AMEREN UE

800.552.7593

636.343.9300

BARNHART, MO 63012 636.296.5066

TELEPHONE: AT&T 800.331.0500

ELECTRIC:

SEWER: NORTHEAST PUBLIC SEWER DISTRICT 1014 GRAVOIS RD.

FENTON, MO 63026

## DRAWING INDEX

C1	TITLE SHEET
C2	SITE PLAN
C3	NOTES
C4	DETAILS

CALL BEFORE
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1-800-DIG-RITE

TITLE SHEET

Date Revisions

/inter Lake Estates HO 115 Winter Lake Blvd. Fenton, MO 63026

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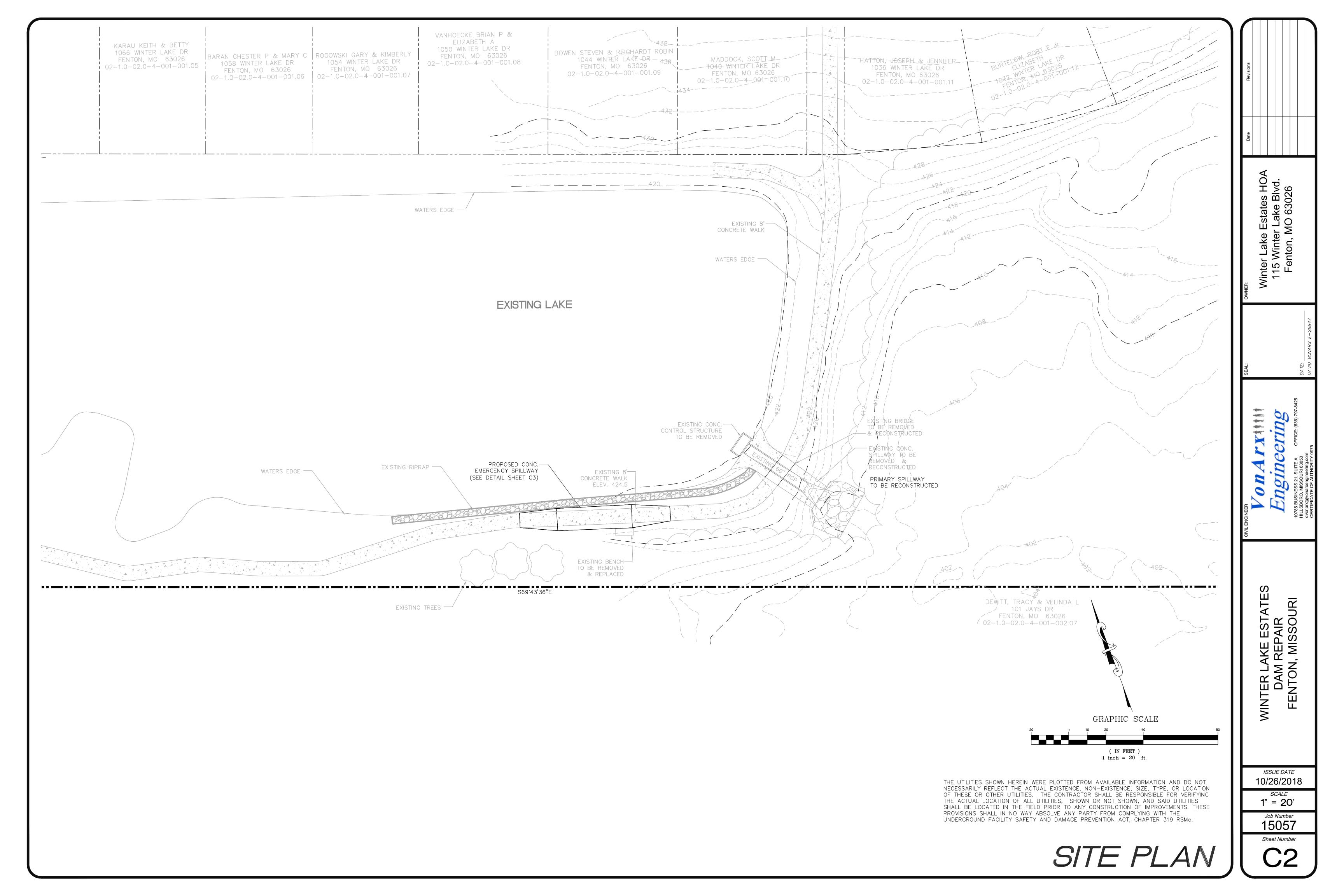
VINTER LAKE ESTATE DAM REPAIR FENTON, MISSOURI

ISSUE DATE 10/26/2018

SCALE NO SCALE

Job Number 15057

Sheet Number



#### **CONCRETE GENERAL NOTES:**

- ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED, IN ACCORDANCE WITH THE LATEST EDITION OF THE A.C.I. DETAILING MANUAL.
- 2. ALL REINFORCING SHALL BE SUPPORTED IN FORMS, SPACED WITH NECESSARY ACCESSORIES AND SHALL BE SECURELY WIRED TOGETHER, IN ACCORDANCE WITH C.S.R.I. "REINFORCEING BAR DETAILING", LATEST EDITION.
- 3. MINIMUM CONCRETE COVER, UNLESS NOTED OTHERWISE: UNFORMED SURFACE IN CONTACT WITH THE GROUND: 3 IN. FORMED SURFACES EXPOSED TO EARTH OR WEATHER:
  - 1 ½ IN.FOR #5 BAR OR SMALLER 2 IN. FOR #6 BAR OR LARGER
  - FORMED SURFACES NOT EXPOSED TO EARTH OR WEATHER: WALLS, SLABS: 3/4 IN.
  - BEAMS, GIRDERS AND COLUMNS (TO TIES OR STIRRUPS): 1 1/2 "
- 4. ALL CONSTRUCTION JOINTS SHOWN ON DRAWINGS SHALL BE INCORPORATED INTO THE STRUCTURE, UNLESS THEIR ELIMINATION IS APPROVED BY THE ENGINEER. ADDITIONAL CONSTRUCTION JOINTS, REQUIRED TO FACILITATE CONSTRUCTION, SHALL BE LOCATED AT POINTS OF MINIMUM SHEAR AND SHALL BE DETAILED ON SHOP DRAWINGS WITH LOCATIONS SUBJECT TO APPROVAL BY ENGINEER. REINFORCEMENT SHALL PASS CONTINUOUSLY THROUGH THE JOINT.
- 5. ALL ABUTTING CONCRETE MEMBERS SHALL BE DOWELED TOGETHER, UNLESS POURED MONOLITHICALLY. DOWELS SHALL BE EQUAL IN SIZE AND SPACING TO THE REINFORCING IN THE ADJECENT MEMBER.
- 6. UNLESS OTHERWISE SHOWN IN THE DRAWINGS, PROVIDE 3.4" CHAMFERS AT ALL EDGES THAT ARE EXPOSED TO THE VIEW IN THE FINISHED STRUCTURE.
- 7. BASE PLATES, ANCHOR BOLTS, SUPPORT ANGLES, ETC., BELOW GRADE SHALL BE COVERED WITH A MINIMUM OF 3" CONCRETE.
- 8. PROVIDE CONTINUOUS WATERSTOP AT HORIZONTAL AND VERTICAL JOINTS BELOW GRADE.
- 9. WHERE REINFORCING IS NOT INDICATED OR DEFINED, INCLUDE FOR BID PURPOSES ONLY:
  - A, WALLS: #5 EASH WAY EACH FACE. SPACING IN INCHES = 140 / (WALL THICKNESS IN INCHES) BUT NOT OVER 18" O.C.
- B. BEAMS: 1-#9 CONTINUOUS TOP AND BOTTOM FOR EACH 100 SQUARE INCHES OF BEAM CROSS SECTIONAL AREA AND #4 STIRRUPS SPACED AT 1/4 OF BEAM DEPTH FULL LENGTH OF BEAM.
- C. COLUMNS: 1-#9 VERTICAL PER 50 SQUARE INCHES OF CROSS SECTIONAL AREA AND #3 TIES @ 9" O.C.
- D. SLABS: #5 EACH WAY TOP AND BOTTOM. SPACING IN INCHES = 100/(SLAB THICKNESS IN INCHES) BUT NOT OVER 18" O.C. ON SHOP DRAWINGS, INDICATE ABOVE REINFORCING AS "PER GENERAL NOTES". SUCH REINFORCING MAY BE REVISED OR RELOCATED BY
- STRUCTURAL ENGINEER DURING SHOP DRAWING REVIEW.

  18. PROVIDE STANDARD HOOKS ON BARS TERMINATING AT A CONCRETE FACE UNLESS NOTED (E.G.: EDGES OF OPENINGS, SLAB EDGES, EXPANSION JOINTS, ENDS OF BEAMS, AND AT: TOP, BOTTOM AND ENDS OF WALLS, ETC.)

#### STRUCTURAL STEEL:

- STEEL SHALL CONFORM TO THE FOLLOWING GRADES: ALL WIDE FLANGE (U.N.O.), A992 GRADE 50 (FY=50) ALL CHANNEL, ANGLE, BASE PLATES, CONNECTION PLATES (U.N.O.), A36 (FY=36)
- STRUCTURAL PIPE: A53 (FY=35)
  STRUCTURAL HSS RECTANGULAR TUBE: A500 GRADE B (FY=46)
- STRUCTURAL HSS ROUND TUBE: A500 GRADE B (FY=42)

  2. ALL STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE A.S.C.I. CODE OF STANDARD PRACTICE (1992), EXCEPT AS MODIFIED IN THESE NOTES AND THE PROJECT SPECIFICATIONS.
- 3. CONNECTIONS MAY BE BOLTED OR WELDED. THE FABRICATOR IS RESPONSIBLE FOR THE DESIGN OF CONNECTIONS NOT DESIGNED ON THE DRAWINGS. GENERALLY, CONNECTIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE SCHEMATIC AND ARE ONLY INTENDED TO SHOW THE RELATIONSHIP OF MEMBERS CONNECTED. ANY CONNECTION THAT IS SHOWN OR IS NOT COMPLETELY DETAILED ON THE STRUCTURAL DRAWINGS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF THE PROJECT, RETAINED BY THE FABRICATOR. COMPLETELY DETAILED MEANS THE FOLLOWING INFORMATION IS SHOWN ON THE DETAIL:
- A. ALL PLATE DIMENSIONS AND GRADES.
- B. ALL WELD SIZES, LENGTHS, PITCHES, AND RETURNS.
- C. ALL HOLE SIZES AND SPACINGS.
- D. NUMBER AND TYPES OF BOLTS: WHERE BOLTS ARE SHOWN BUT NO NUMBER IS GIVEN, THE CONNECTION HAS NOT BEEN COMPLETELY DETAILED.
- E. WHERE PARTIAL INFORMATION IS GIVEN, IT SHALL BE THE MINIMUM REQUIREMENT FOR THE CONNECTION.
- PRIOR TO FABRICATION, PROVIDE (FOR RECORD COPY) DESIGN CALCULATIONS FOR TYPICAL BEAM CONNECTIONS, ALL PRIMARY BRACING AND HANGER CONNECTIONS, SIGNED AND SEALED BY A PREOFESSIONAL ENGINEER REGISTERED IN THE STATE OF THE PROJECT SHALL BE SUBMITTED TO THE ENGINEER.

#### **CONNECTION DESIGN FORCES:**

A. BEAMS, GREATER OF:

55% OF TOTAL ALLOWABLE UNIFORM LOAD CAPACITY FROM A.I.S.C. 9TH EDITION TABLES FOR ALLOWABLE LOADS ON BEAMS, Wc/L.

REACTIONS SHOWN ON DRAWINGS.

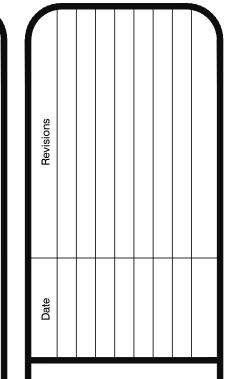
- B. MOMENT CONNECTIONS INDICATED ON THE DRAWINGS THUS: {-< }-{ >-} DEISGN FOR MOMENT SHOWN OR, IF NOT SHOWN, DEVELOP MOMENT CAPACITY OF MEMBER WITH fb=0.66 FY.
- C. MAINTAIN TENSION INDICATED OF COLUMNS, DIAGONALS AND MEMBERS SUBJECT TO TENSION AT BOLT HOLES, NOTCHES. OR COPES.
- D. CONNECTION FORCE NOTATION:
  - P = AXIAL FORCE IN KIPS: (+) TENSION, (-) COMPRESSION V OR [] = SHEAR IN KIPS
  - M = MOMENT IN FOOT KIPS T = TORSION IN FOOT KIPS
- E. LOADS SHOWN INCLUDE COMPENSATION FOR CODE PERMITTED LOAD REDUCTIONS FOR CONNECTION DESIGN.
- 5. THE MINIMUM PLATE THICKNESS SHALL BE 3/8".
- 6. BOLTED CONNECTIONS:
- A. MINIMUM BOLT DIAMETER = 3/4"
- B. SLIP CRITICAL CONNECTIONS OF A3255C OR A490SC BOLTS SHALL BE USED FOR ALL BOLTED CONNECTIONS OF BRACING MEMBERS, MOMENT CONNECTIONS, CANTILEVERS, AND AS SHOWN ON THE DRAWINGS. OVERSIZED AND LONG-SLOTTED HOLES ARE ALLOWED FOR SLIP CRITICAL CONNECTIONS.
- C. ALL OTHER BOLTED CONNECTIONS SHALL BE BEARING TYPE USING A325N OR A490N BOLTS. OVERSIZED HOLES AND LONG-SLOTTED HOLES ARE NOT ALLOWED UNLESS SHOWN ON THE DRAWINGS.
- D. A307 BOLTS MAY BE USED WHERE INDICATED ON THE DRAWINGS.
- E. PROTRUDING BOLT HEADS, SHAFTS OR NUTS SHALL NOT EXTEND INTO NOR PROHIBIT THE APPLICATION OF ARCHITECTURAL FINISHED AND THEY SHALL NOT EXTEND INTO NOT PROHIBIT THE PLACEMENT OF STEEL DECKING TO THE CORRECT LINE AND ELEVATION.
- F. THE FABRICATOR IS RESPONSIBLE FOR VERFYING THE TENSION CAPACITY OF AXIALLY LOADED MEMBERS AFTER A SECTION IS REDUCED FOR BOLT HEADS. MEMBER SIZE MAY BE INCREASED OR CONNECTION PLATES ADDED AS REQUIRED.
- G. SHOP DRAWINGS SHALL INDICATE THE TYPE OF BOLT USED IN EACH CONNECTION AND THE ALLOWABLE VALUES USED FOR THE VARIOUS BOLT TYPES.

#### 7. WELDED CONNECTIONS:

- A. WELDS ARE CONTINUOUS UNLESS NOTED.
- B. ALL FILLET WELDS: A.I.S.C. MINIMUM BUT NOT LESS THAN 1.4" UNLESS NOTED OTHERWISE.
- C. ALL WELDING SHALL BE IN ACCORDANCE WITH THE CURRENT "STRUCTURAL WELDING CODE" (A.W.S. DI.1) PUBLISHED BY THE AMERICAN WELDING SOCIETY. ELECTRODES FOR WELDING SHALL COMPLY WITH THE REQUIREMENTS OF TABLE 4.1.1 OF (A.W.S. DI.1).
- D. ALL GROOVE WELDS SHALL BE COMPLETE PENETRATION UNLESS NOTED OTHERWISE.
- 8. SPLICING OF STEEL MEMBERS, UNLESS SHOWN ON THE DRAWINGS, IS PROHIBITED WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.
- 9. NO CHANGES IN SIZE OR POSITION OF THE STRUCTURAL ELEMENTS SHALL BE ADE AND HOLES, SLOTS, CUTS, ETC., ARE NOT PERMITTED THROUGH ANY MEMBER UNLESS THEY ARE DETAILED ON THE APPROVED SHOP DRAWINGS.
- 10. NO FINAL BOLTING OR WELDING SHALL BE MADE UNTIL AS MUCH OF THE STRUCTURE AS WILL BE STIFFENED THEREBY HAS BEEN PROPERLY ALIGNED.
- 11. UNLESS NOTED OTHERWISE, BEAMS SHALL BEAR 8" MINIMUM ON CONCRETE OR MASONRY. ANCHOR BEAMS TO MASONRY OR CONCRETE WITH 2-3/4" DIA. ANCHOR BOLTS OR WELDED TO EMBED PLATE.
- 12. FABRICATE ALL BEAMS WITH THE MILL CAMBER UP.
- 13. SHEAR STUDS: CONFORM TO A.W.S. DI-1-98, SHOP WELD EXCEPT WHERE APPLIED THROUGH METAL DECK.
- 14. HEADED STUDS SHALL CONFORM TO A.W.S. DI-1-98, SHOP WELD EXCEPT WHERE APPLIED THROUGH METAL DECK. HEADED STUDS SHALL CONFORM TO A.S.T.M. A108, GRADE 1015, WELDABLE (Fy = 65 K.S.I.).
- 15. WHERE FIREPROOFING IS REQUIRED, ADJUST FIREPROOFING THICKNESS BASED ON MEMER SIZES. SEE ARCHITECTURAL DRAWINGS FOR FIREPROOFING REQUIREMENTS AND THICKNESS.
- 16. THE FABRICATOR IS RESPONSIBLE FOR THE DESIGN AND DETAILING OF STEEL STAIRS. STAIRS SHOWN ON THE STRUCTURAL DRAWINGS ARE SCHMETIS AND ARE ONLY INTENDED TO SHOW THE RELATIONSHIP OF MEMBERS CONNECTED. STAIRS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF THE PROJECT, RETAINED BY THE FABRICATOR.

## **GENERAL NOTES**

- 1. THE STRUCTURAL DOCUMENT (DRAWINGS & SPECIFICATIONS) MUST NOT BE USED WITHOUT THE CONSTRUCTION DOCUMENT OF OTHER DISCIPLINES. COORDINATION BETWEEN STRUCTURAL DOCUMENT AND OTHER DISCIPLINE'S DOCUMENT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE SUBCONTRACTOR RESPONSIBLE FOR THE WORK.
- 2. EXISTING CONDITIONS SHOWN ON THE STRUCTURAL DOCUMENT ARE CONCEPTUAL & MUST BE VERIFIED IN THE FIELD BY GENERAL CONTRACTOR PRIOR TO DETAILING, FABRICATION, & CONSTRUCTION OF RELATED WORK.
- 3. ALL ITEMS REQUIRED BY OTHER DISCIPLINE'S WORK & IMPACTING THE STRUCTURAL WORK SUCH AS CASTING OF ANCHORS, SLEEVES, CONDUITS, OPENINGS, SUPPORTS FOR & BRACING FOR NON-STRUCTURAL COMPONENT SHALL BE IDENTIFIED BY SUBCONTRACTORS RESPONSIBLE FOR SUCH WORK & SUBMITTED WITH DETAILS FOR STRUCTURAL ENGINEER'S APPROVAL.
- 4. THE SEOR IS NOT RESPONSIBLE FOR MEANS, METHODS, AND SEQUENCE OF WORK. ALL TEMPORARY BRACING, SHORING, COMPLIANCE WITH OSHA REGULATIONS & SOILS REPORT AND GENERAL STABILITY OF INDIVIDUAL STRUCTURAL COMPONENT DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- WHERE SPECIFIC DETAILS ARE NOT IDENTIFIED ON THE STRUCTURAL PLANS, REFER TO
  TYPICAL DETAILS AND UTILIZE INDUSTRY STANDARD PRACTICE AS IDENTIFIED IN SPECIFIED
  CODES, REGULATIONS, AND STANDARDS.



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